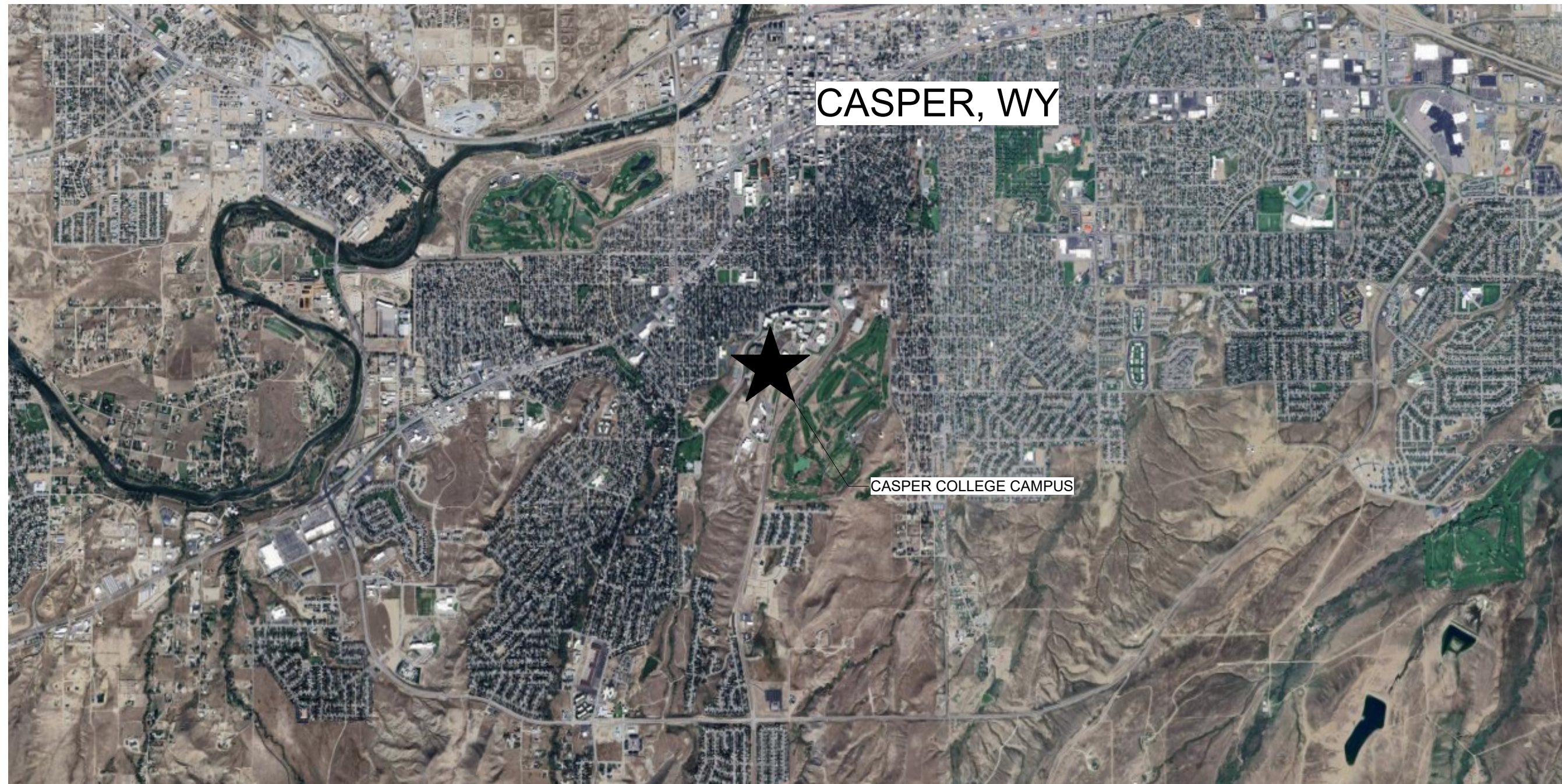


# CASPER COLLEGE - 2025 ROOF REPLACEMENTS

125 COLLEGE DR.  
CASPER, WY 82601

## CONSTRUCTION DOCUMENTS

FEBRUARY 28, 2025



### PROJECT TEAM



#### OWNER

CASPER COLLEGE  
125 COLLEGE DR.  
CASPER, WY 82601  
307-268-2492

PROJECT CONTACT:  
MITCH MASTERS (FACILITIES OPERATIONS DIRECTOR)  
MITCHELL.MASTERS@CASPERCOLLEGE.EDU



#### ARCHITECT

ARETE DESIGN GROUP, LLC  
228 EAST BRUNDAGE ST, SUITE 100  
SHERIDAN, WY 82801  
307.672.8270

PROJECT CONTACT:  
TIM JAGER  
TIMJ@ARETEDESIGN.GROUP

### GENERAL NOTES

#### ARCHITECTURAL GENERAL NOTES

- ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE INTERNATIONAL BUILDING CODES, CURRENT OR ACCEPTED EDITIONS FOR LOCAL AUTHORITIES, & ALL OTHER STATE & LOCAL CODES & BUILDING REQUIREMENTS THAT APPLY.
- CONTRACTOR & SUB-CONTRACTORS SHALL PROVIDE ALL LABOR, MATERIAL, & EQUIPMENT TO COMPLETE ALL WORK SHOWN ON THE PLANS, CALLED OUT IN THE SPECIFICATIONS & REASONABLY IMPLIED FOR A COMPLETE INSTALLATION.
- DO NOT SCALE DRAWINGS. USE DRAWING DIMENSIONS ONLY. VERIFY ALL DIMENSIONS IN THE FIELD.
- IT IS NOT THE RESPONSIBILITY OF THE ARCHITECT OR ENGINEER(S) IF DRAWINGS ARE REPRODUCED BY THE CONTRACTOR & NOT PRINTED PROPERLY CAUSING INACCURACY IN THE DRAWING SCALES. CONTACT THE ARCHITECT IF DRAWINGS NEED TO BE PRINTED AT THE INTENDED SCALE.
- THE CONTRACTOR SHALL MAINTAIN & ADHERE TO ALL CURRENT LIFE-SAFETY & INTERIM LIFE-SAFETY RULES & REGULATIONS THROUGH THE DURATION OF THIS PROJECT.
- THE CONTRACTOR SHALL KEEP THE SITE SECURE & FREE OF UNAUTHORIZED PERSONS. THE CONTRACTOR SHALL KEEP THE AREA OF WORK SECURE FROM VANDALISM OR THEFT.
- THE CONTRACTOR SHALL ENSURE SAFETY DURING & AFTER WORK HOURS & COMPLY WITH ALL APPLICABLE REGULATIONS & ORDINANCES PERTAINING TO THE SAFETY OF PEOPLE & PROPERTY.
- DEBRIS SHALL BE PROMPTLY REMOVED FROM THE BUILDING & THE SITE & DISPOSED OF IN A LEGAL MANNER. THE AREA OF CONSTRUCTION SHALL BE MAINTAINED TO A "BROOM CLEAN CONDITION" AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL MINIMIZE & CLEARLY MARK ALL PHYSICAL HAZARDS. EMERGENCY EGRESS PATHS MUST BE MAINTAINED AT ALL TIMES.
- INSTALL ALL WORK WITH CARE & CRAFTSMANSHIP - ENSURE THAT ALL COMPONENTS ARE INSTALLED PLUMB, LEVEL, SQUARED, & FIRMLY IN PLACE. PROVIDE WORKMANSHIP ACCORDING TO STANDARD CONSTRUCTION PRINCIPLES, AS OUTLINED IN THE SPECIFICATION, & TO THE SATISFACTION OF THE OWNER, ARCHITECT, & ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT NO ASBESTOS OR HAZARDOUS MATERIALS ARE INSTALLED AS A PART OF THIS PROJECT.
- INSTALL ALL MATERIAL & EQUIPMENT ACCORDING TO THE MANUFACTURER'S RECOMMENDED STANDARD METHODS OF INSTALLATION.

#### RENOVATION GENERAL NOTES

- THE DRAWINGS REFLECT CONDITIONS AS CAN REASONABLY INFERRED FROM VISIBLE CONDITIONS OR FROM DRAWINGS AND INFORMATION PROVIDED BY OWNER, BUT ARE NOT GUARANTEED.
- THESE DRAWINGS REPRESENT A COMBINATION OF RECORD DRAWINGS AND PHYSICAL FIELD VERIFICATION. NOT ALL EXISTING CONDITIONS MAY BE REPRESENTED. REGARDLESS OF THE DIRECTION GIVEN HEREIN, IT IS STILL THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE SITE CONDITIONS AND ITEMS INVOLVING THEIR RESPECTIVE TRADES PRIOR TO BIDDING AND INSTALLATION. ANY DISCREPANCIES NOT DOCUMENTED HEREIN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO DEMOLITION AT THESE LOCATIONS FOR VERIFICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITIES, DIMENSIONS, AND FIELD CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS BEFORE COMMENCEMENT OF WORK AND REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY. WORK DONE WITHOUT NOTIFYING THE ARCHITECT OF THESE DISCREPANCIES SHALL BE DONE AT THE SOLE RISK OF THE CONTRACTOR.
- THE STORAGE OF MATERIALS, EQUIPMENT, AND OTHER CONSTRUCTION RELATED ACTIVITIES SHALL BE COORDINATED WITH THE OWNER AND SHALL NOT ADVERSELY AFFECT THE BUILDING OPERATIONS.

### DRAWING INDEX

#### GENERAL INFORMATION

G000 COVER SHEET

#### ARCHITECTURAL - LIBRARY

LA001 ARCHITECTURAL SITE PLAN - LIBRARY  
LA101 DEMOLITION PLAN - LIBRARY AREAS A & B  
LA102 DEMOLITION PLAN - LIBRARY AREAS C, D, E, & F  
LA401 ROOF PLAN - LIBRARY AREAS A & B  
LA402 ROOF PLAN - LIBRARY AREAS C, D, E & F

#### ARCHITECTURAL - HEALTH SCIENCE

HA001 ARCHITECTURAL SITE PLAN - HEALTH SCIENCE  
HA002 OVERALL ROOF PLAN - HEALTH SCIENCE  
HA101 DEMOLITION PLAN - HEALTH SCIENCE AREAS A, B & C  
HA102 DEMOLITION PLAN - HEALTH SCIENCE AREAS D & E  
HA401 ROOF PLAN - HEALTH SCIENCE AREAS A, B & C  
HA402 ROOF PLAN - HEALTH SCIENCE AREAS D & E

#### ARCHITECTURAL - PHYSICAL SCIENCE

PA001 ARCHITECTURAL SITE PLAN - PHYSICAL SCIENCE  
PA002 OVERALL ROOF PLAN - PHYSICAL SCIENCE/LIFE SCIENCE  
PA101 DEMOLITION PLAN - PHYSICAL SCIENCE AREA A  
PA102 DEMOLITION PLAN - PHYSICAL SCIENCE AREAS B, C & D  
PA103 DEMOLITION PLAN - PHYSICAL SCIENCE AREAS E & F  
PA401 ROOF PLAN - PHYSICAL SCIENCE AREA A  
PA402 ROOF PLAN - PHYSICAL SCIENCE AREAS B, C & D  
PA403 ROOF PLAN - PHYSICAL SCIENCE AREAS E & F

#### ARCHITECTURAL - CIVIC APARTMENTS

CA001 ARCHITECTURAL SITE PLAN - CIVIC APARTMENTS  
CA101 DEMOLITION PLAN - CIVIC APARTMENTS  
CA401 ROOF PLAN - CIVIC APARTMENTS

#### ARCHITECTURAL - DETAILS

A410 ROOF DETAILS  
A411 ROOF DETAILS

LIST OF ALTERNATES:



## ARETE DESIGN GROUP

228 EAST BRUNDAGE STREET, SUITE 100  
SHERIDAN, WYOMING 82801

INFO@ARETEDESIGN.GROUP  
PHONE 307.672.8270

PROJECT SCOPE: REMOVE EXISTING ROOF MEMBRANE ON EACH ROOF AREA DOWN TO EXISTING INSULATION. INSTALL NEW ROOFING MEMBRANE OVER NEW GYPSUM COVER BOARD OVER EXISTING INSULATION ASSEMBLY.

CONSTRUCTION TYPE: TYPE V-B

OCCUPANCY: E, R-3

ROOF SF: 74,579 SF

### COPYRIGHT NOTE

THESE DRAWINGS WERE PREPARED BY ARETE DESIGN GROUP FOR CONSTRUCTION OF THE BUILDING DESCRIBED WITHIN THESE CONSTRUCTION DOCUMENTS. THEY ARE THE PROPERTY OF ARETE DESIGN GROUP AND MAY NOT BE REPRODUCED, COPIED, OR USED IN ANYWAY WITHOUT PRIOR WRITTEN APPROVAL FROM ARETE DESIGN GROUP.





























1 SITE MAP - PHYSICAL SCIENCE  
PA001 SCALE: 1" = 30'-0"

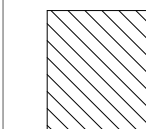
### GENERAL SITE PLAN NOTES

1. CONSERVE & PROTECT ALL AREAS NOT SCHEDULED FOR NEW WORK. WHERE DAMAGE OCCURS TO AREAS NOT SCHEDULED FOR NEW WORK DAMAGED AREAS / ITEMS / DEVICES SHALL BE REPAIRED / REPLACED BACK TO SIMILAR CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.

### ROOF AREA LIST

1. EAST ENTRANCE ROOF - PS - AREA A
2. MAIN BUILDING SOUTH - PS - AREA B
3. MAIN BUILDING WEST - PS - AREA C
4. CENTRAL CORNER ENTRANCE - PS - AREA D
5. LIFE SCIENCE NORTHWEST - PS - AREA E
6. LIFE SCIENCE NORTH CENTRAL - PS - AREA F

### SITE PLAN LEGEND



CONTRACTOR STAGING AND PARKING AREA. PROVIDE AND INSTALL CONSTRUCTION FLAGGING AND/OR FENCING AT AREA PERIMETER.

### (XXX) KEYNOTES

1.01 CONTRACTOR STAGING AND PARKING AREA. PROVIDE AND INSTALL CONSTRUCTION FLAGGING AND/OR FENCING AT AREA PERIMETER.

## CASPER COLLEGE - 2025 ROOF REPLACEMENTS

OWNER

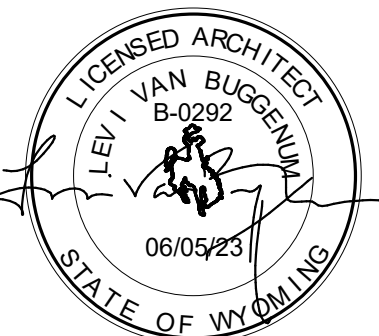


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ARCHITECT



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TIM JAGER



REVISIONS

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ARCHITECTURAL SITE PLAN - PHYSICAL SCIENCE

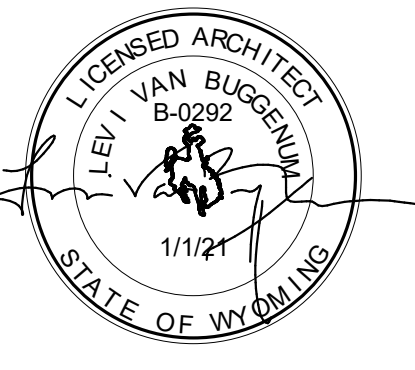
# PA001



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**ARCHITECT**  
  
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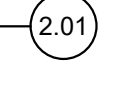


**DEMOLITION PLAN - PHYSICAL SCIENCE AREA A**

**PA101**

**GENERAL DEMOLITION NOTES**

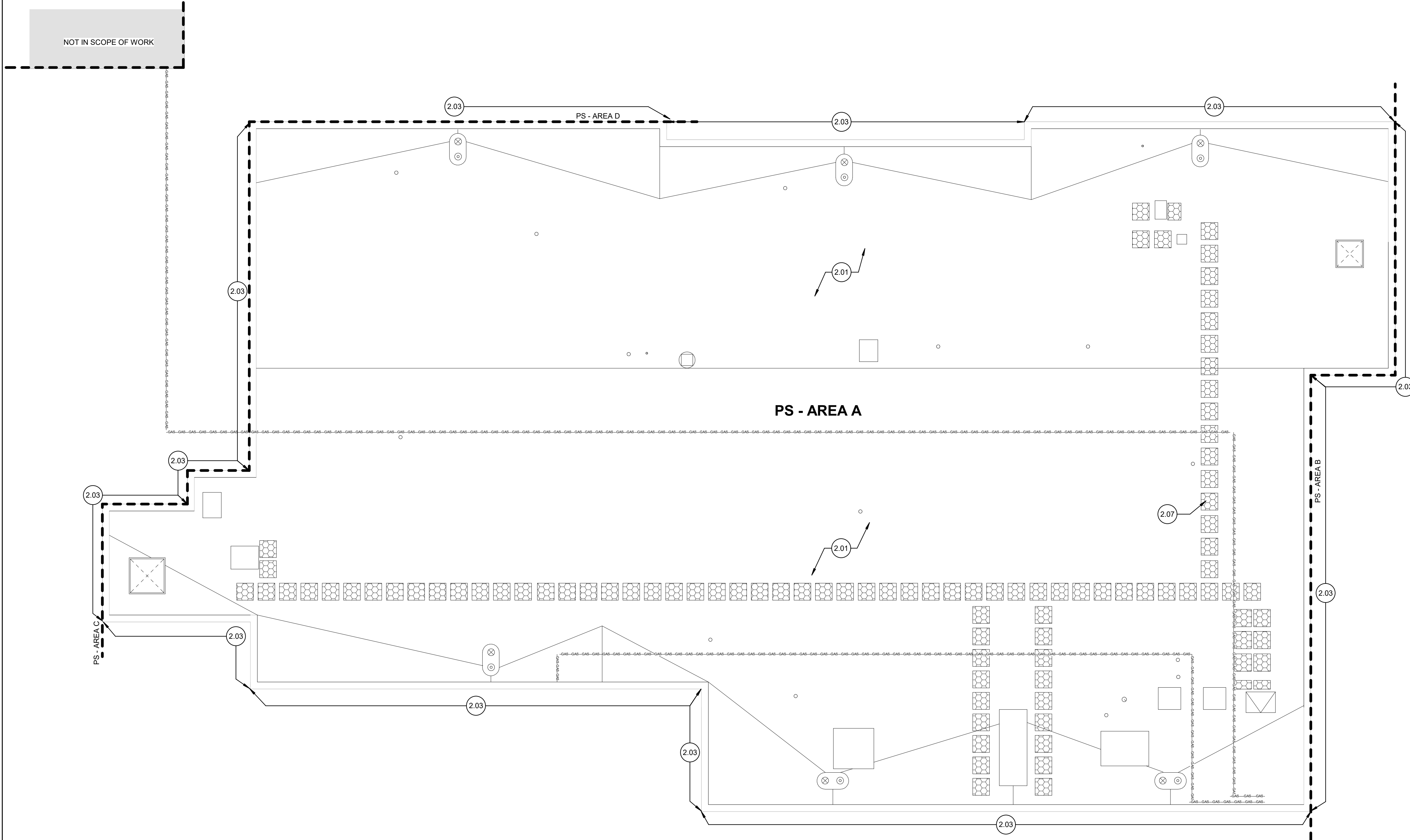
- SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING SELECTIVE DEMOLITION ITEMS.
- DIMENSIONS & QUANTITIES ARE APPROXIMATE & SHOWN FOR GENERAL INFORMATION ONLY. CONTRACTOR IS RESPONSIBLE TO FIELD MEASURE & VERIFY EXISTING CONDITIONS.
- THIS SHEET REPRESENTS CONDITIONS AS OBSERVED IN THE FIELD. ANY DISCOVERIES NOT DOCUMENTED HEREIN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO DEMOLITION AT THESE LOCATIONS FOR VERIFICATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIARIZED WITH PROJECT & EXISTING CONDITIONS PRIOR TO SUBMITTING BID &/OR PERFORMING ANY WORK.
- CONTRACTOR SHALL INSPECT THE UNDERSIDE OF THE ROOF DECK & TAKE PRECAUTIONS TO AVOID DAMAGING CONDUIT, DUCTWORK, OR ANY OTHER BUILDING SYSTEMS ATTACHED BENEATH THE DECK.
- THE CONTRACTOR IS TO PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW & RENOVATION CONSTRUCTION WHETHER OR NOT IT IS SPECIFICALLY NOTED, INCLUDING, BUT NOT LIMITED TO, ALL WORK THAT MIGHT REASONABLY BE REQUIRED TO PREP FOR SPECIFIED FINISHES.
- PROTECT ALL ITEMS / ELEMENTS NOT SPECIFIED AS BEING DEMOLISHED. IF EXISTING ELEMENTS ARE DAMAGED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PATCH, REPAIR, OR REPLACE ITEMS / ELEMENTS TO REMAIN AT NO COST TO THE OWNER.
- OWNER HAS FIRST RIGHT OF REFUSAL FOR ALL MATERIALS & FINISHES. CONTRACTOR SHALL VERIFY WITH OWNER PRIOR TO COMMENCEMENT OF DEMOLITION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DISPOSE OF ALL DEMOLISHED ITEMS, UNLESS NOTED TO BE SALVAGED, IN A PROPER MANNER ACCORDING TO THE LOCAL & FEDERAL REGULATIONS.

**DEMOLITION LEGEND**

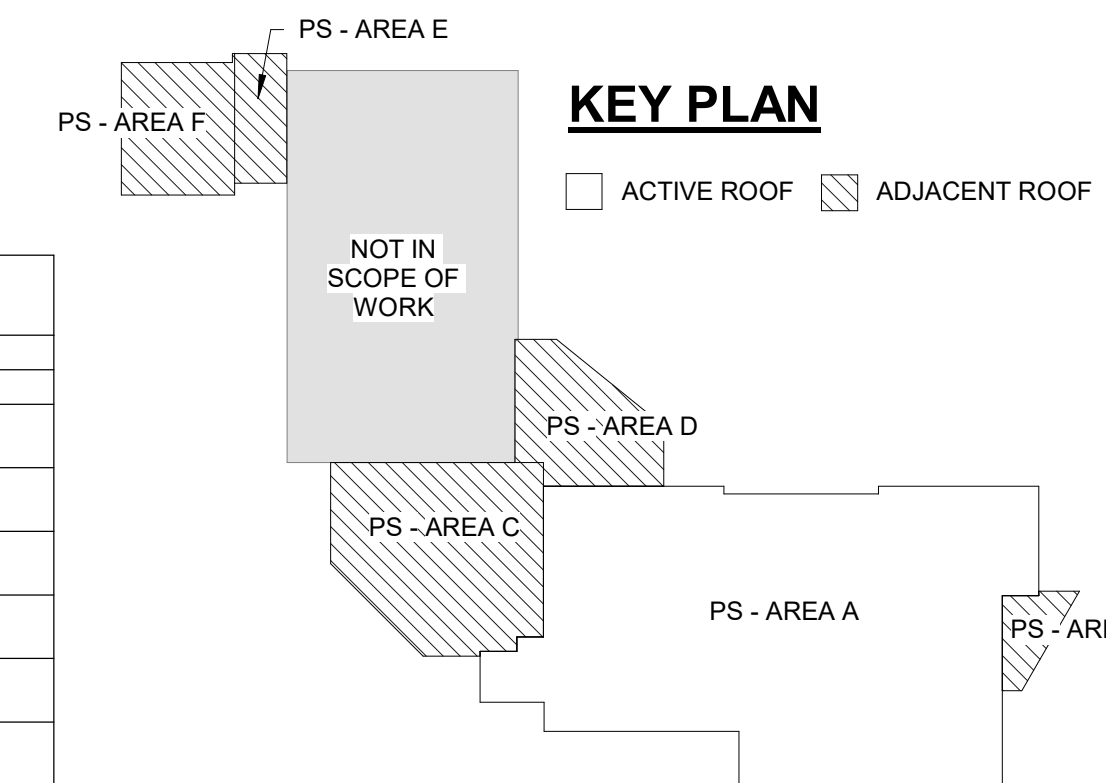
-  DEMOLITION KEYNOTE
-  EXISTING TERMINATION BAR / EDGE METAL TO BE REMOVED. VERIFY TYPES & CONDITIONS IN THE FIELD
-  EXISTING WALL / ITEM / ELEMENT TO REMAIN, PROTECT DURING CONSTRUCTION, VERIFY TYPES & CONDITIONS IN THE FIELD

**DEMOLITION KEYNOTES**

- 2.01** REMOVE AND DISPOSE OF MEMBRANE ROOF ASSEMBLY. SEE ROOFING SCHEDULE.
- 2.03** REMOVE AND DISPOSE PRE-FINISHED METAL COPING. INSPECT WOOD NAILERS AND NOTIFY ARCHITECT/OWNER OF DEFICIENT NAILERS.
- 2.07** REMOVE AND DISPOSE OF ADHERED WALKWAY PADS.



**1 DEMOLITION PLAN - PHYSICAL SCIENCE AREA A**  
 PA101 SCALE: 1/8" = 1'-0"



**ROOF SCHEDULE - PHYSICAL SCIENCE**

ROOF AREA	APPROX. AREA	EXISTING ROOF CONSTRUCTION	SCOPE OF WORK
PS - AREA A	14206 SF	MECHANICALLY FASTENED COATED EPDM MEMBRANE OVER (2) 1 1/2" LAYER OF POLYISO INSUL ON SLOPED METAL DECK.	REMOVE AND DISPOSE OF COATED EPDM ROOFING MEMBRANE; PROVIDE AND INSTALL MECHANICALLY FASTENED MEMBRANE OVER MECHANICALLY FASTENED GYP. COVER BOARD OVER EXISTING REMAINING ROOF ASSEMBLY ON SLOPED METAL DECK.
PS - AREA B	461 SF	MECHANICALLY FASTENED COATED EPDM MEMBRANE OVER (2) 1 1/2" LAYER OF POLYISO INSUL ON SLOPED METAL DECK.	REMOVE AND DISPOSE OF COATED EPDM ROOFING MEMBRANE; PROVIDE AND INSTALL MECHANICALLY FASTENED MEMBRANE OVER MECHANICALLY FASTENED GYP. COVER BOARD OVER EXISTING REMAINING ROOF ASSEMBLY ON SLOPED METAL DECK.
PS - AREA C	3862 SF	MECHANICALLY FASTENED COATED EPDM MEMBRANE OVER (2) 1 1/2" LAYER OF POLYISO INSUL ON SLOPED METAL DECK.	REMOVE AND DISPOSE OF COATED EPDM ROOFING MEMBRANE; PROVIDE AND INSTALL MECHANICALLY FASTENED MEMBRANE OVER MECHANICALLY FASTENED GYP. COVER BOARD OVER EXISTING REMAINING ROOF ASSEMBLY ON SLOPED METAL DECK.
PS - AREA D	1716 SF	MECHANICALLY FASTENED COATED EPDM MEMBRANE OVER (2) 1 1/2" LAYER OF POLYISO INSUL ON SLOPED METAL DECK.	REMOVE AND DISPOSE OF COATED EPDM ROOFING MEMBRANE; PROVIDE AND INSTALL MECHANICALLY FASTENED MEMBRANE OVER MECHANICALLY FASTENED GYP. COVER BOARD OVER EXISTING REMAINING ROOF ASSEMBLY ON SLOPED METAL DECK.
PS - AREA E	686 SF	MECHANICALLY FASTENED COATED EPDM MEMBRANE OVER (2) 1 1/2" LAYER OF POLYISO INSUL ON SLOPED METAL DECK.	REMOVE AND DISPOSE OF COATED EPDM ROOFING MEMBRANE; PROVIDE AND INSTALL MECHANICALLY FASTENED MEMBRANE OVER MECHANICALLY FASTENED GYP. COVER BOARD OVER EXISTING REMAINING ROOF ASSEMBLY ON SLOPED METAL DECK.
PS - AREA F	1573 SF	MECHANICALLY FASTENED COATED EPDM MEMBRANE OVER (2) 1 1/2" LAYER OF POLYISO INSUL ON SLOPED METAL DECK.	REMOVE AND DISPOSE OF COATED EPDM ROOFING MEMBRANE; PROVIDE AND INSTALL MECHANICALLY FASTENED MEMBRANE OVER MECHANICALLY FASTENED GYP. COVER BOARD OVER EXISTING REMAINING ROOF ASSEMBLY ON SLOPED METAL DECK.



**GENERAL DEMOLITION NOTES**

- SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING SELECTIVE DEMOLITION ITEMS.
- DIMENSIONS & QUANTITIES ARE APPROXIMATE & SHOWN FOR GENERAL INFORMATION ONLY. CONTRACTOR IS RESPONSIBLE TO FIELD MEASURE & VERIFY EXISTING CONDITIONS.
- THIS SHEET REPRESENTS CONDITIONS AS OBSERVED IN THE FIELD. ANY DISCOVERIES NOT DOCUMENTED HEREIN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO DEMOLITION AT THESE LOCATIONS FOR VERIFICATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIARIZED WITH PROJECT & EXISTING CONDITIONS PRIOR TO SUBMITTING BID &/OR PERFORMING ANY WORK.
- CONTRACTOR SHALL INSPECT THE UNDERSIDE OF THE ROOF DECK & TAKE PRECAUTIONS TO AVOID DAMAGING CONDUIT, DUCTWORK, OR ANY OTHER BUILDING SYSTEMS ATTACHED BENEATH THE DECK.
- THE CONTRACTOR IS TO PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW & RENOVATION CONSTRUCTION WHETHER OR NOT IT IS SPECIFICALLY NOTED, INCLUDING, BUT NOT LIMITED TO, ALL WORK THAT MIGHT REASONABLY BE REQUIRED TO PREP FOR SPECIFIED FINISHES.
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OWNER



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ARCHITECT



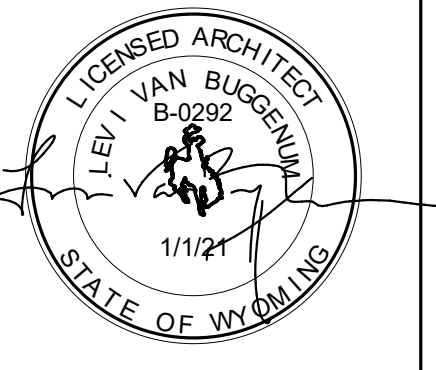
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**DEMOLITION LEGEND**

- (2.01) DEMOLITION KEYNOTE
- - - - - EXISTING TERMINATION BAR / EDGE METAL TO BE REMOVED. VERIFY TYPES & CONDITIONS IN THE FIELD
- [ ] EXISTING WALL / ITEM / ELEMENT TO REMAIN, PROTECT DURING CONSTRUCTION. VERIFY TYPES & CONDITIONS IN THE FIELD

**DEMOLITION KEYNOTES**

- (2.01) REMOVE AND DISPOSE OF MEMBRANE ROOF ASSEMBLY. SEE ROOFING SCHEDULE.
- (2.03) REMOVE AND DISPOSE PRE-FINISHED METAL COPING. INSPECT WOOD NAILERS AND NOTIFY ARCHITECT/OWNER OF DEFICIENT NAILERS.
- (2.05) REMOVE AND DISPOSE PRE-FINISHED METAL COUNTER FLASHING.



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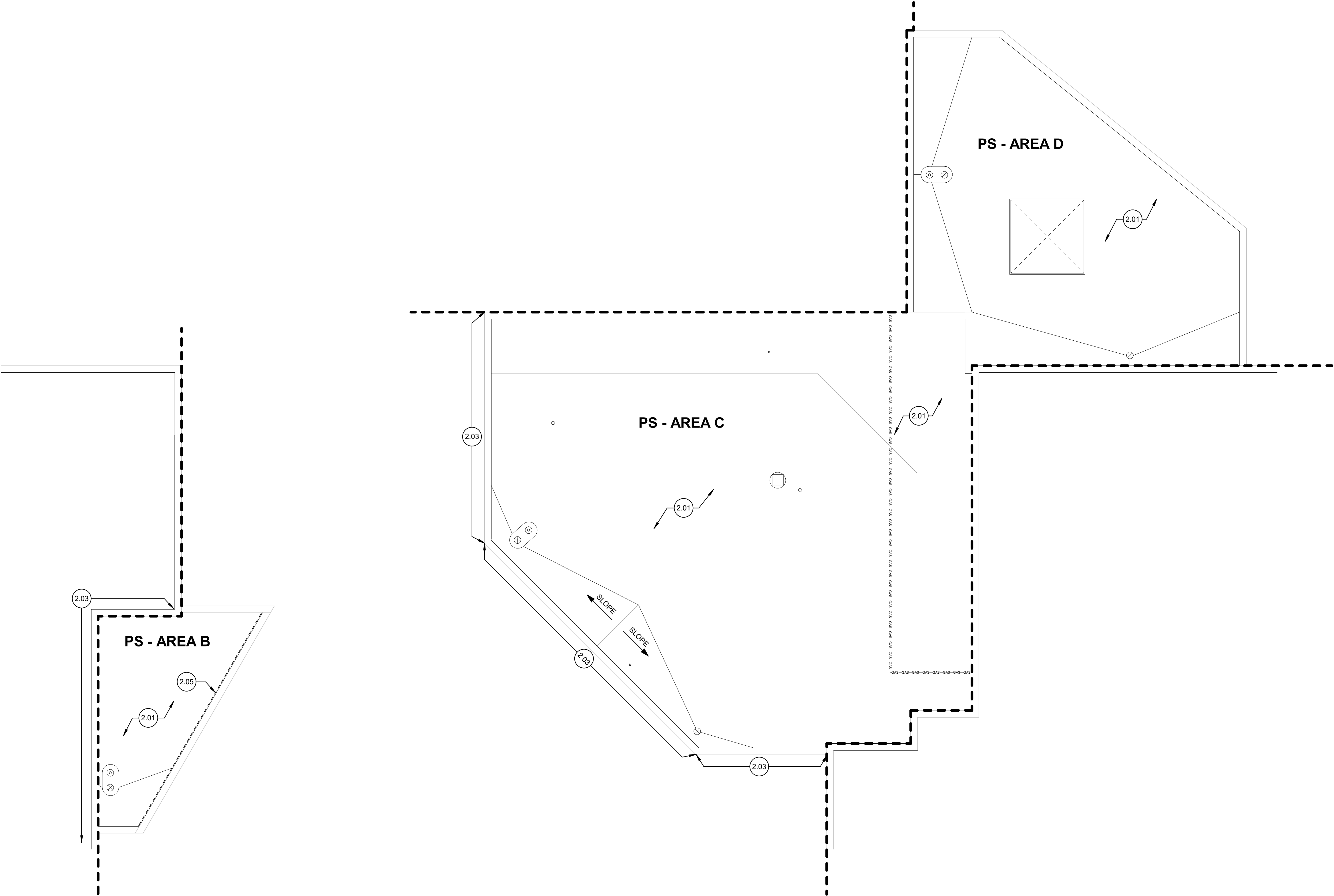
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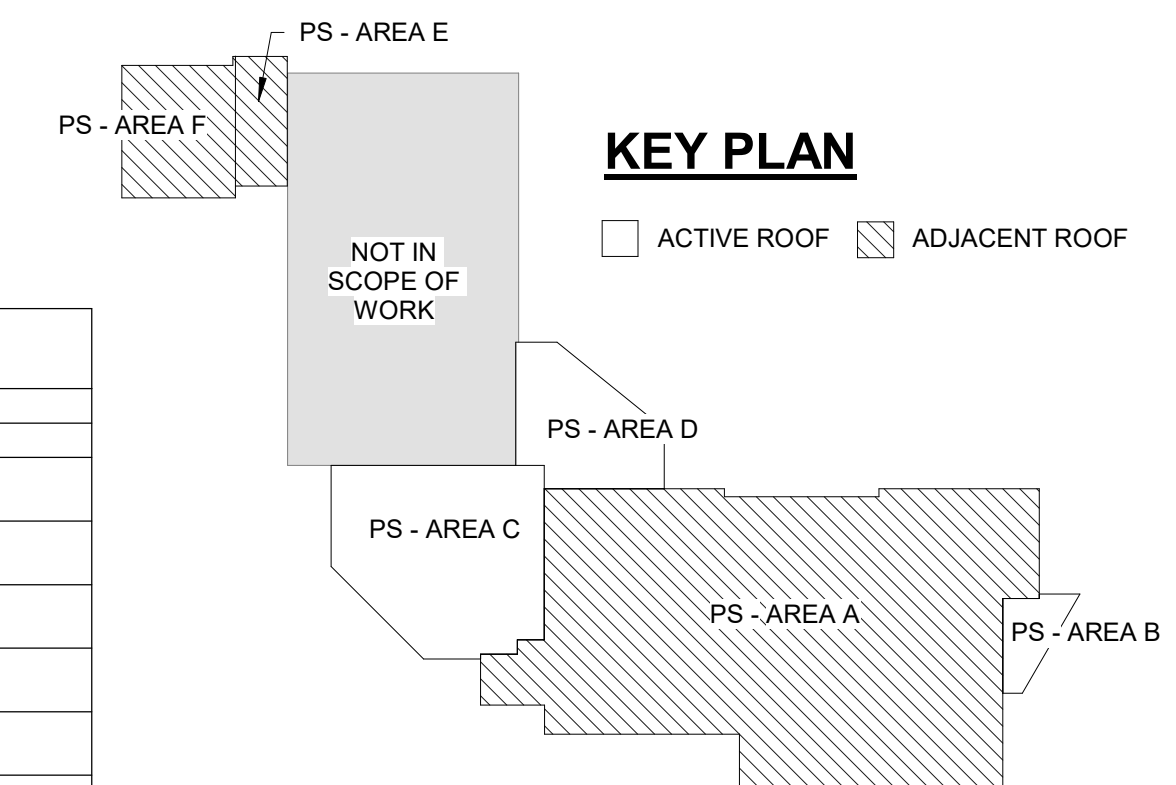
DEMOLITION PLAN - PHYSICAL SCIENCE AREAS B, C & D

**PA102**



**1** DEMOLITION PLAN - PHYSICAL SCIENCE AREA B  
PA102 SCALE: 1/8" = 1'-0"

**2** DEMOLITION PLAN - PHYSICAL SCIENCE AREAS C & D  
PA102 SCALE: 1/8" = 1'-0"



ROOF SCHEDULE - PHYSICAL SCIENCE			
ROOF AREA	APPROX. AREA	EXISTING ROOF CONSTRUCTION	SCOPE OF WORK
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**CASPER COLLEGE - 2025 ROOF REPLACEMENTS**

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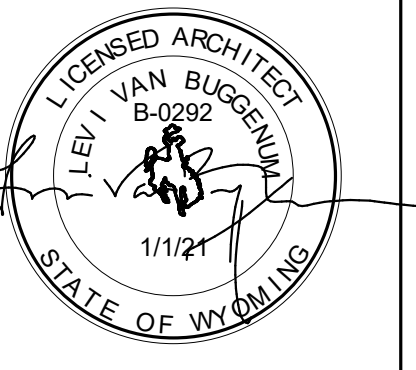


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**DEMOLITION PLAN - PHYSICAL SCIENCE AREAS E & F**

**PA103**

**GENERAL DEMOLITION NOTES**

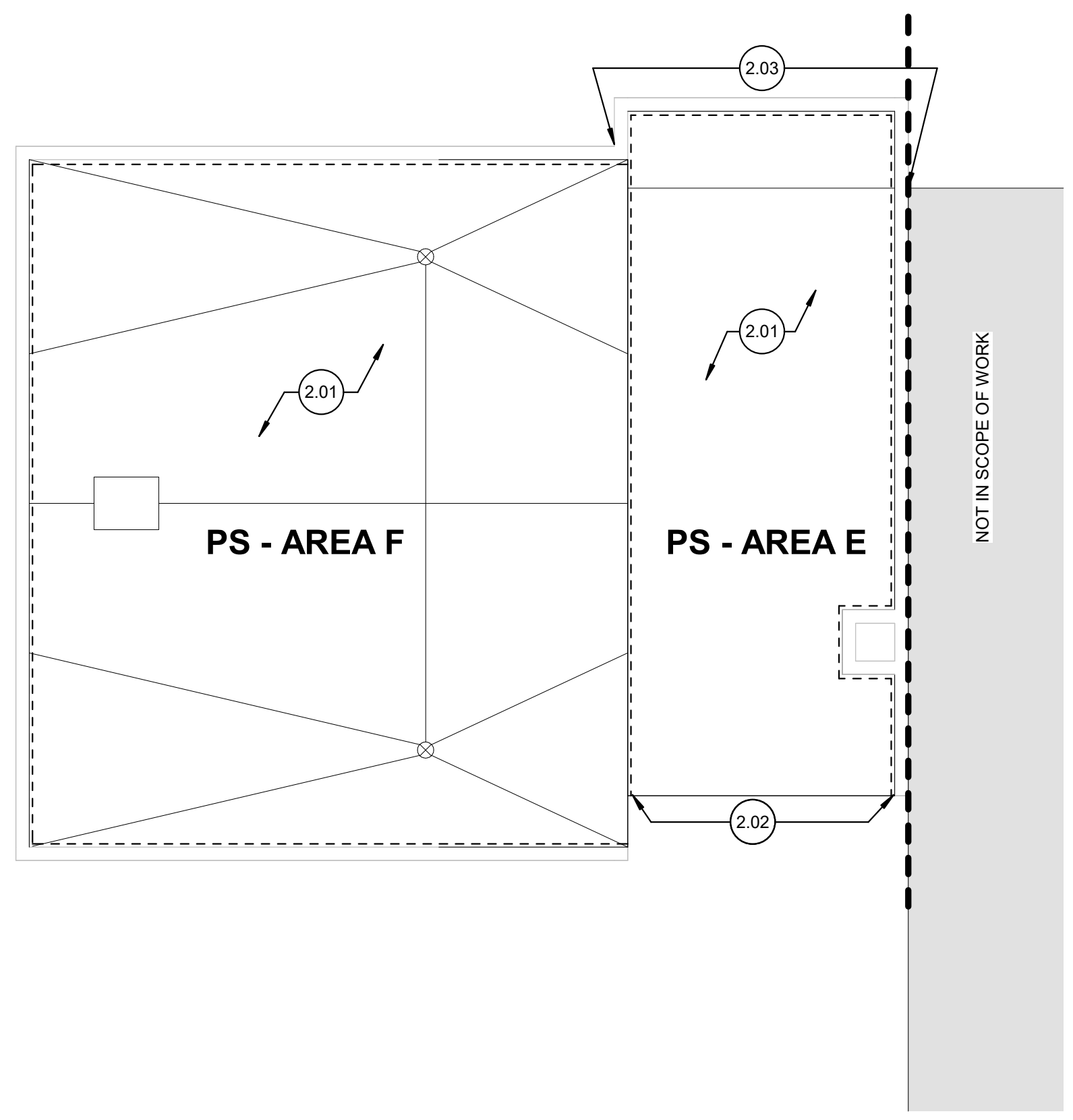
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- THE CONTRACTOR IS TO PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW & RENOVATION CONSTRUCTION WHETHER OR NOT IT IS SPECIFICALLY NOTED, INCLUDING, BUT NOT LIMITED TO, ALL WORK THAT MIGHT REASONABLY BE REQUIRED TO PREP FOR SPECIFIED FINISHES.
- PROTECT ALL ITEMS / ELEMENTS NOT SPECIFIED AS BEING DEMOLISHED. IF EXISTING ELEMENTS ARE DAMAGED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PATCH, REPAIR, OR REPLACE ITEMS / ELEMENTS TO REMAIN AT NO COST TO THE OWNER.
- OWNER HAS FIRST RIGHT OF REFUSAL FOR ALL MATERIALS & FINISHES. CONTRACTOR SHALL VERIFY WITH OWNER PRIOR TO COMMENCEMENT OF DEMOLITION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DISPOSE OF ALL DEMOLISHED ITEMS, UNLESS NOTED TO BE SALVAGED, IN A PROPER MANNER ACCORDING TO THE LOCAL & FEDERAL REGULATIONS.

**DEMOLITION LEGEND**

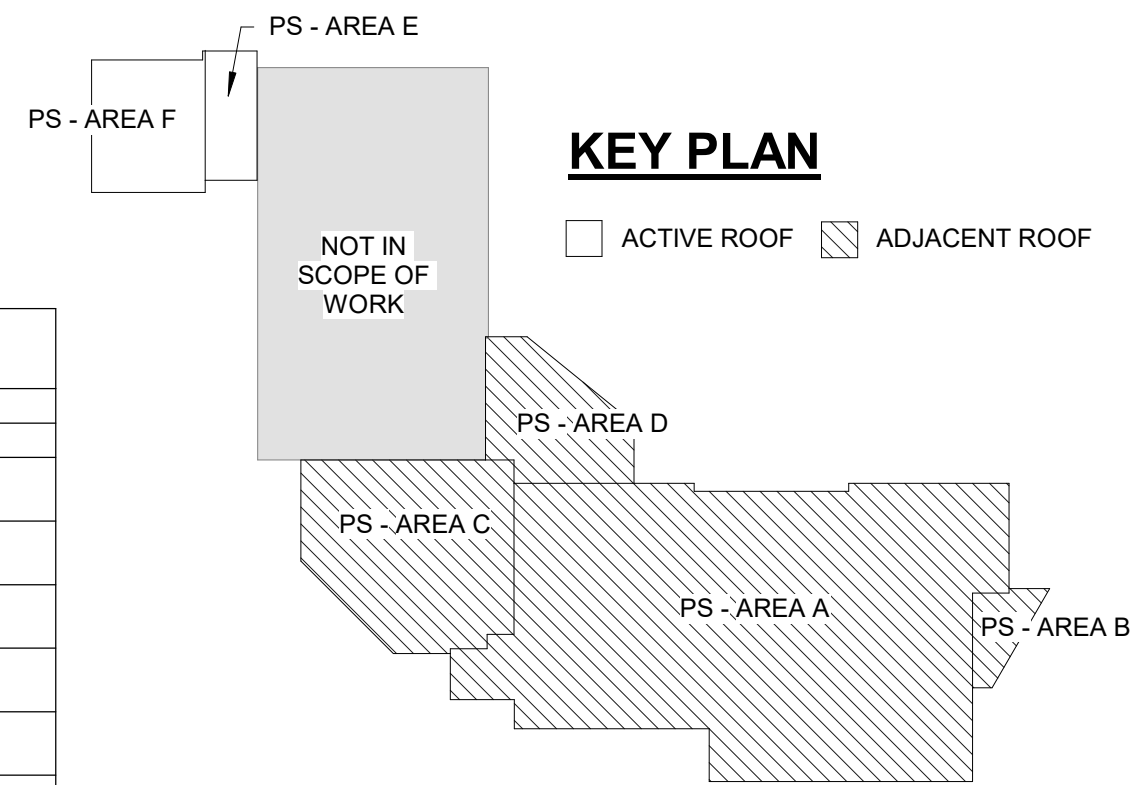
- DEMOLITION KEYNOTE
- EXISTING TERMINATION BAR / EDGE METAL TO BE REMOVED. VERIFY TYPES & CONDITIONS IN THE FIELD
- EXISTING WALL / ITEM / ELEMENT TO REMAIN, PROTECT DURING CONSTRUCTION, VERIFY TYPES & CONDITIONS IN THE FIELD

**DEMOLITION KEYNOTES**

- 2.01 REMOVE AND DISPOSE OF MEMBRANE ROOF ASSEMBLY. SEE ROOFING SCHEDULE.
- 2.02 REMOVE AND DISPOSE PRE-FINISHED EDGE METAL. INSPECT WOOD NAILERS AND NOTIFY ARCHITECT/OWNER OF DEFICIENT NAILERS.
- 2.03 REMOVE AND DISPOSE PRE-FINISHED METAL COPING. INSPECT WOOD NAILERS AND NOTIFY ARCHITECT/OWNER OF DEFICIENT NAILERS.



**1 DEMOLITION PLAN - PHYSICAL SCIENCE AREAS E & F**  
SCALE: 1/8" = 1'-0"



**ROOF SCHEDULE - PHYSICAL SCIENCE**

ROOF AREA	APPROX. AREA	EXISTING ROOF CONSTRUCTION	SCOPE OF WORK
PS - AREA A	14206 SF	MECHANICALLY FASTENED COATED EPDM MEMBRANE OVER (2) 1 1/2" LAYER OF POLYISO INSUL. ON SLOPED METAL DECK.	REMOVE AND DISPOSE OF COATED EPDM ROOFING MEMBRANE; PROVIDE AND INSTALL MECHANICALLY FASTENED MEMBRANE OVER MECHANICALLY FASTENED GYP. COVER BOARD OVER EXISTING REMAINING ROOF ASSEMBLY ON SLOPED METAL DECK.
PS - AREA B	461 SF	MECHANICALLY FASTENED COATED EPDM MEMBRANE OVER (2) 1 1/2" LAYER OF POLYISO INSUL. ON SLOPED METAL DECK.	REMOVE AND DISPOSE OF COATED EPDM ROOFING MEMBRANE; PROVIDE AND INSTALL MECHANICALLY FASTENED MEMBRANE OVER MECHANICALLY FASTENED GYP. COVER BOARD OVER EXISTING REMAINING ROOF ASSEMBLY ON SLOPED METAL DECK.
PS - AREA C	3862 SF	MECHANICALLY FASTENED COATED EPDM MEMBRANE OVER (2) 1 1/2" LAYER OF POLYISO INSUL. ON SLOPED METAL DECK.	REMOVE AND DISPOSE OF COATED EPDM ROOFING MEMBRANE; PROVIDE AND INSTALL MECHANICALLY FASTENED MEMBRANE OVER MECHANICALLY FASTENED GYP. COVER BOARD OVER EXISTING REMAINING ROOF ASSEMBLY ON SLOPED METAL DECK.
PS - AREA D	1716 SF	MECHANICALLY FASTENED COATED EPDM MEMBRANE OVER (2) 1 1/2" LAYER OF POLYISO INSUL. ON SLOPED METAL DECK.	REMOVE AND DISPOSE OF COATED EPDM ROOFING MEMBRANE; PROVIDE AND INSTALL MECHANICALLY FASTENED MEMBRANE OVER MECHANICALLY FASTENED GYP. COVER BOARD OVER EXISTING REMAINING ROOF ASSEMBLY ON SLOPED METAL DECK.
PS - AREA E	686 SF	MECHANICALLY FASTENED COATED EPDM MEMBRANE OVER (2) 1 1/2" LAYER OF POLYISO INSUL. ON SLOPED METAL DECK.	REMOVE AND DISPOSE OF COATED EPDM ROOFING MEMBRANE; PROVIDE AND INSTALL MECHANICALLY FASTENED MEMBRANE OVER MECHANICALLY FASTENED GYP. COVER BOARD OVER EXISTING REMAINING ROOF ASSEMBLY ON SLOPED METAL DECK.
PS - AREA F	1573 SF	MECHANICALLY FASTENED COATED EPDM MEMBRANE OVER (2) 1 1/2" LAYER OF POLYISO INSUL. ON SLOPED METAL DECK.	REMOVE AND DISPOSE OF COATED EPDM ROOFING MEMBRANE; PROVIDE AND INSTALL MECHANICALLY FASTENED MEMBRANE OVER MECHANICALLY FASTENED GYP. COVER BOARD OVER EXISTING REMAINING ROOF ASSEMBLY ON SLOPED METAL DECK.

**CASPER COLLEGE - 2025 ROOF REPLACEMENTS**

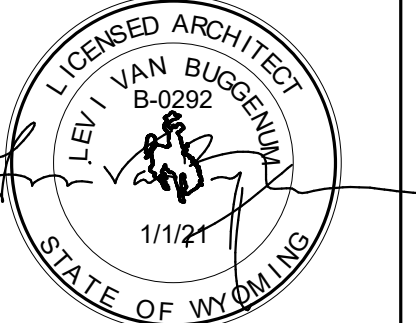


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REVISIONS

NO.	DESCRIPTION	DATE

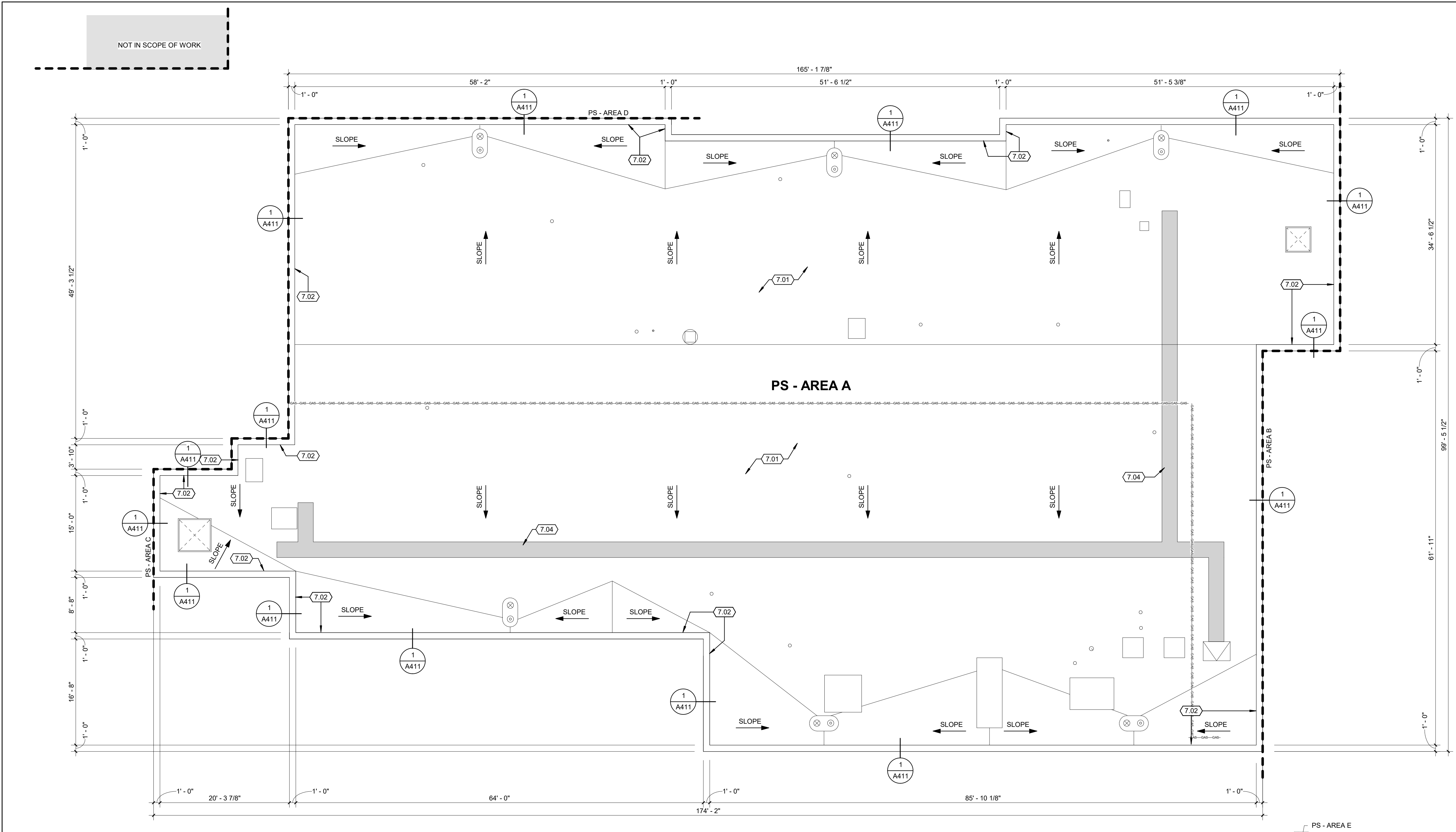
PROJECT NUMBER:  
2024-83

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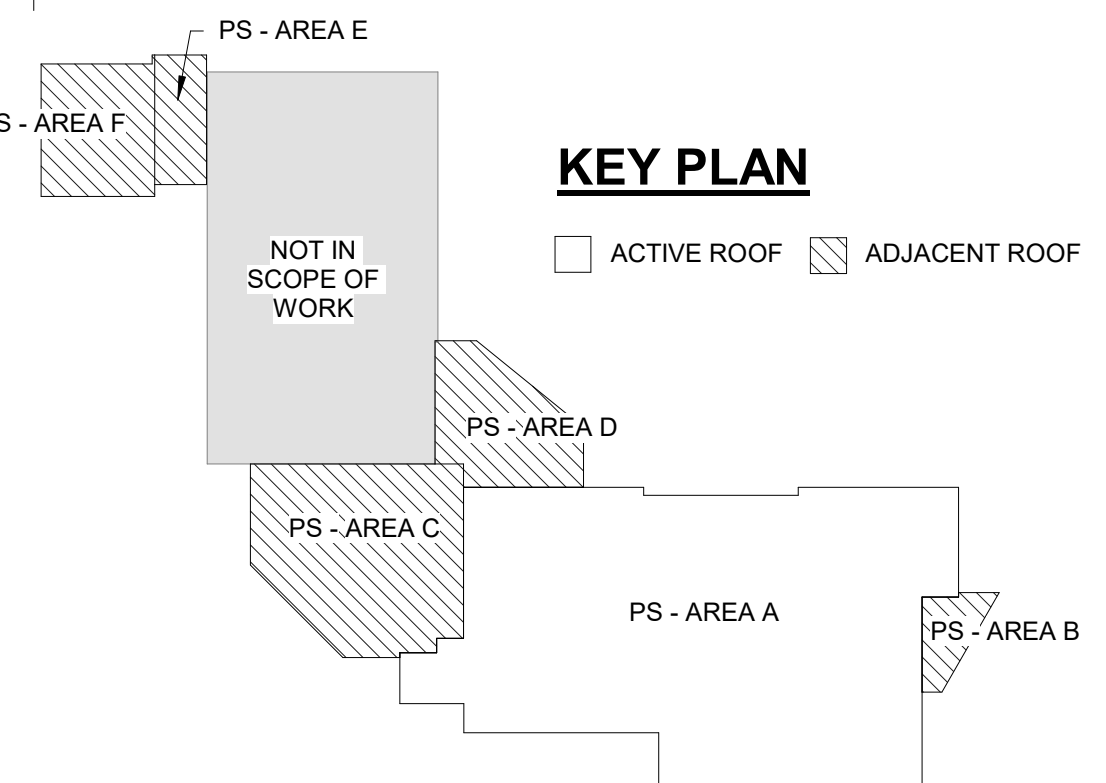
ISSUE:  
CONSTRUCTION DOCUMENTS

ROOF PLAN - PHYSICAL SCIENCE AREA A

**PA401**



**1** ROOF PLAN - PHYSICAL SCIENCE AREA A  
SCALE: 1/8" = 1'-0"



**GENERAL ROOF PLAN NOTES**

- CONSERVE & PROTECT ALL AREAS NOT SCHEDULED FOR NEW WORK. WHERE DAMAGE OCCURS TO AREAS NOT SCHEDULED FOR NEW WORK DAMAGED AREAS / ITEMS / DEVICES SHALL BE REPAIRED / REPLACED BACK TO SIMILAR CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
- DIMENSIONS & QUANTITIES ARE APPROXIMATE & SHOWN FOR GENERAL INFORMATION ONLY. CONTRACTOR IS RESPONSIBLE TO FIELD MEASURE & VERIFY BEFORE ORDERING MATERIALS.
- CONTRACTOR SHALL INSPECT THE UNDERSIDE OF THE ROOF DECK & TAKE PRECAUTIONS TO AVOID DAMAGING CONDUIT, DUCTWORK, OR ANY OTHER BUILDING SYSTEMS ATTACHED BENEATH THE DECK.
- ALL DEMOLISHED ITEMS FROM THE EXISTING BUILDING TO BE REMOVED & DISPOSED OF FROM THE SITE IN ACCORDANCE WITH ALL STATE & LOCAL REGULATIONS.
- ROOFING CONTRACTOR SHALL MONITOR THE FORECAST & PROVIDE A WATERTIGHT NIGHT SEAL AT ALL AREAS ABOVE CONDITIONED SPACES OPENED UP DURING THE DAY'S ROOFING ACTIVITIES.
- REFER TO MECHANICAL FOR ALL MECHANICAL & PLUMBING ITEMS TO BE INSTALLED.
- REFER TO ELECTRICAL FOR ALL ELECTRICAL ITEMS TO BE INSTALLED.
- PATCH & INFILL ALL MECHANICAL, PLUMBING, & ELECTRICAL WORK THAT IS OUTLINED IN THEIR SHEETS, EVEN IF NOT FULLY REFERENCED IN THE ARCHITECTURAL SHEETS.

**ROOF PLAN LEGEND**

- CURB MOUNTED EXHAUST FAN OR VENTILATOR. SEE DETAIL 1/A410.
- ROOF ACCESS HATCH
- VENT THROUGH ROOF. SEE DETAIL 2/A410.
- HOT FLUE. SEE DETAIL 4/A411.
- ROOF TOP ELECTRICAL OUTLET
- PRIMARY ROOF DRAIN.
- OVERFLOW ROOF DRAIN.
- CURB MOUNTED EXHAUST VENT. SEE DETAIL 1/1A410.
- SKYLIGHT
- ROOF TOP STRUCTURE
- ADHERED WALKWAY PADS
- EXISTING GAS/CONDUIT LINES TO REMAIN

**RENOVATION KEYNOTES**

- 7.01** PROVIDE AND INSTALL ROOF MEMBRANE. SEE ROOFING SCHEDULE.
- 7.02** PROVIDE AND INSTALL NEW MANUFACTURED EDGE METAL. SEE DETAILS.
- 7.04** PROVIDE AND INSTALL ADHERED WALKWAY AS SPECIFIED.

**ROOF SCHEDULE - PHYSICAL SCIENCE**

ROOF AREA	APPROX. AREA	EXISTING ROOF CONSTRUCTION	SCOPE OF WORK
PS - AREA A	14206 SF	MECHANICALLY FASTENED COATED EPDM MEMBRANE OVER (2) 1 1/2" LAYER OF POLYISO INSUL. ON SLOPED METAL DECK.	REMOVE AND DISPOSE OF COATED EPDM ROOFING MEMBRANE; PROVIDE AND INSTALL MECHANICALLY FASTENED MEMBRANE OVER MECHANICALLY FASTENED GYP. COVER BOARD OVER EXISTING REMAINING ROOF ASSEMBLY ON SLOPED METAL DECK.
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PS - AREA D	1716 SF	MECHANICALLY FASTENED COATED EPDM MEMBRANE OVER (2) 1 1/2" LAYER OF POLYISO INSUL. ON SLOPED METAL DECK.	REMOVE AND DISPOSE OF COATED EPDM ROOFING MEMBRANE; PROVIDE AND INSTALL MECHANICALLY FASTENED MEMBRANE OVER MECHANICALLY FASTENED GYP. COVER BOARD OVER EXISTING REMAINING ROOF ASSEMBLY ON SLOPED METAL DECK.
PS - AREA E	686 SF	MECHANICALLY FASTENED COATED EPDM MEMBRANE OVER (2) 1 1/2" LAYER OF POLYISO INSUL. ON SLOPED METAL DECK.	REMOVE AND DISPOSE OF COATED EPDM ROOFING MEMBRANE; PROVIDE AND INSTALL MECHANICALLY FASTENED MEMBRANE OVER MECHANICALLY FASTENED GYP. COVER BOARD OVER EXISTING REMAINING ROOF ASSEMBLY ON SLOPED METAL DECK.
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**CASPER COLLEGE - 2025 ROOF REPLACEMENTS**

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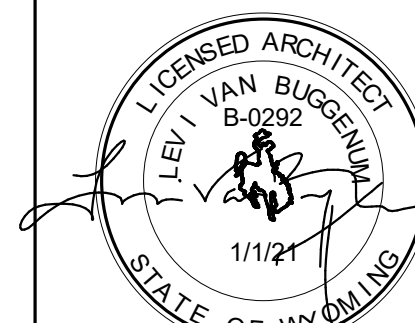


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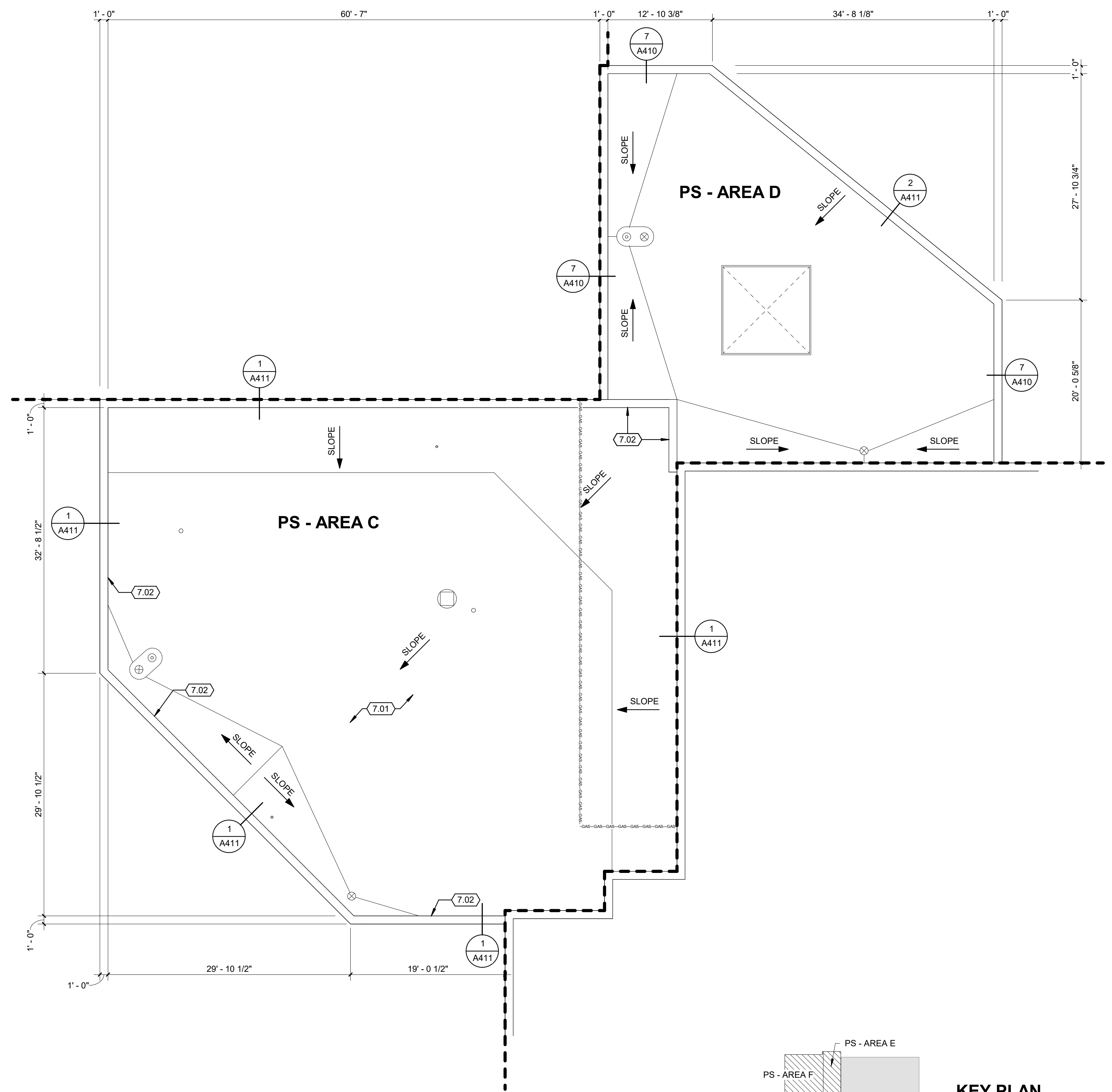
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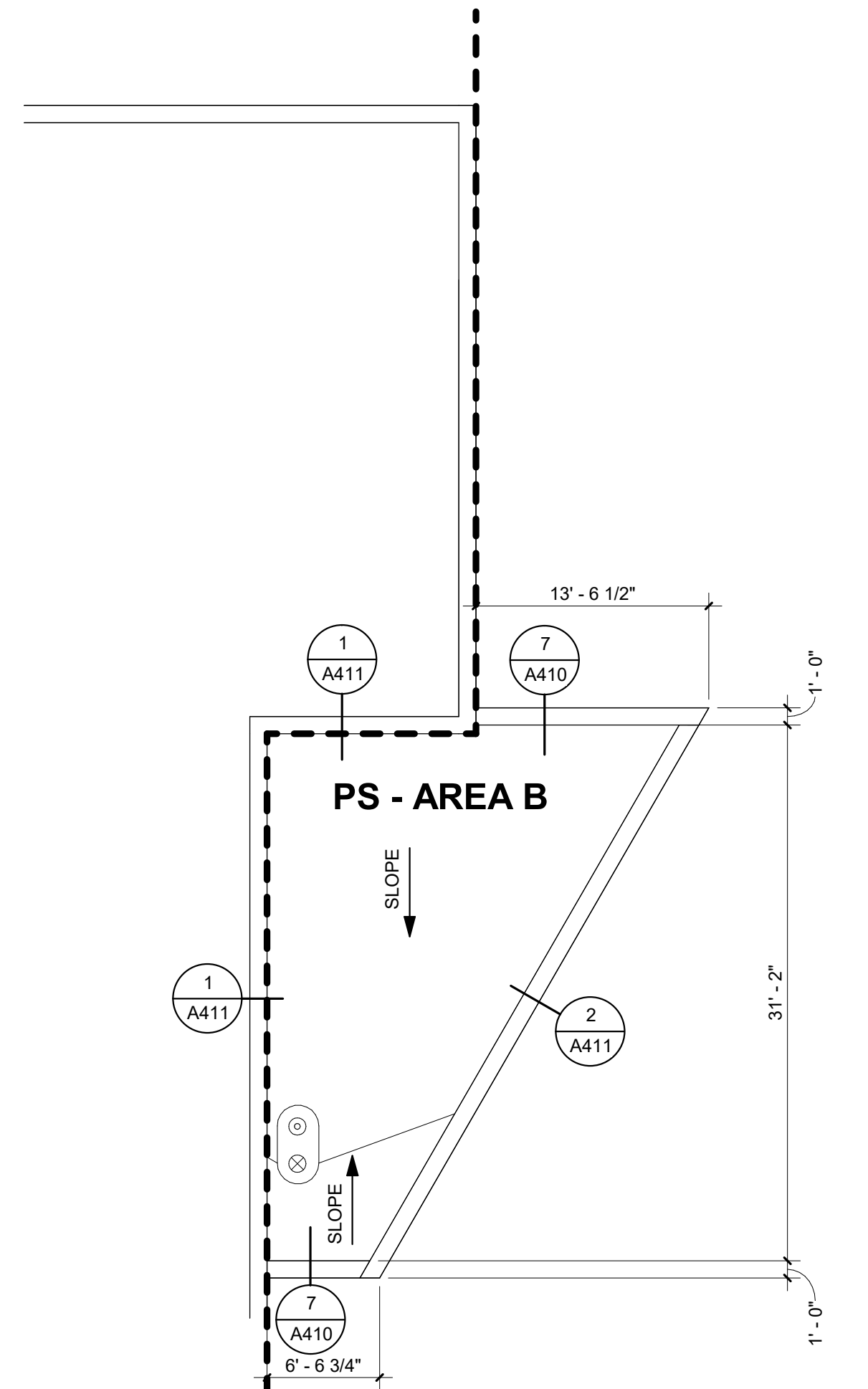
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ROOF PLAN - PHYSICAL SCIENCE AREAS B, C & D

**PA402**



**2 ROOF PLAN - PHYSICAL SCIENCE AREAS C & D**  
SCALE: 1/8" = 1'-0"



**1 ROOF PLAN - PHYSICAL SCIENCE AREA B**  
SCALE: 1/8" = 1'-0"

**GENERAL ROOF PLAN NOTES**

- CONSERVE & PROTECT ALL AREAS NOT SCHEDULED FOR NEW WORK. WHERE DAMAGE OCCURS TO AREAS NOT SCHEDULED FOR NEW WORK, DAMAGED AREAS / ITEMS / DEVICES SHALL BE REPAIRED / REPLACED BACK TO SIMILAR CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
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**ROOF PLAN LEGEND**

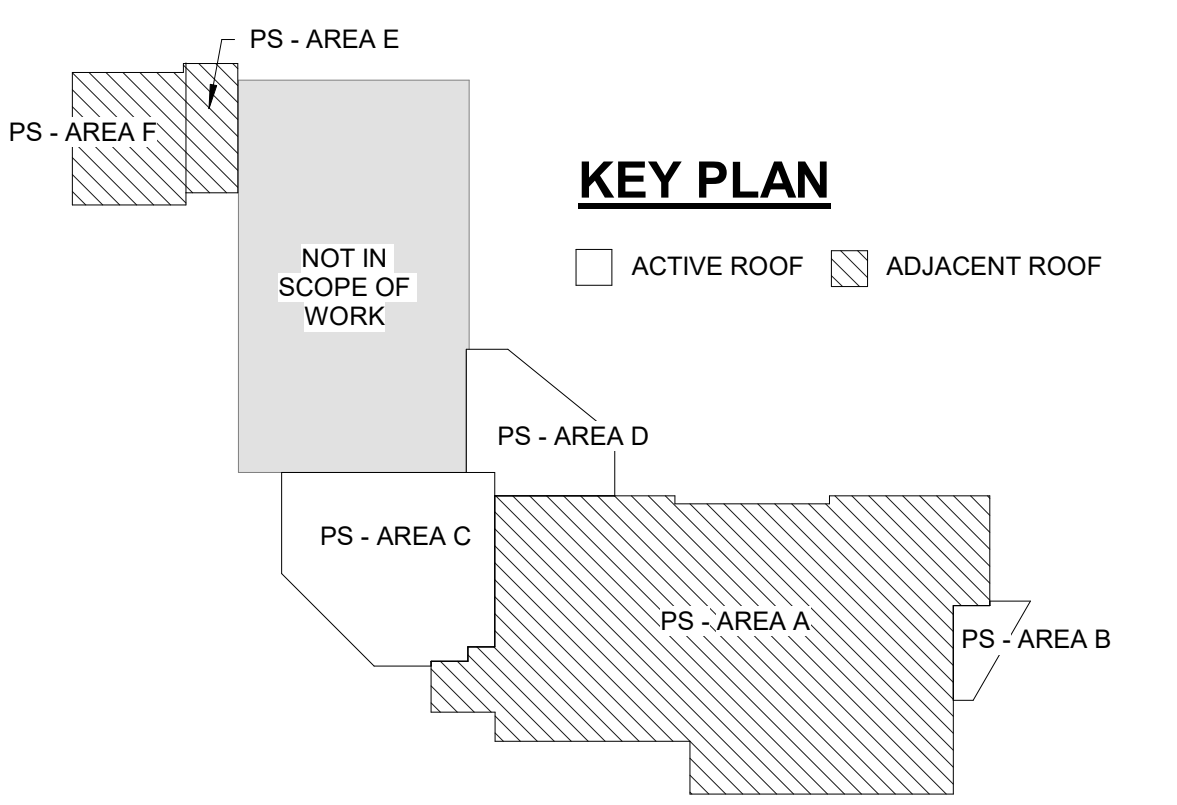
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- ROOF ACCESS HATCH
- VENT THROUGH ROOF. SEE DETAIL 2/A410.
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- ROOF TOP ELECTRICAL OUTLET
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- SKYLIGHT
- ROOF TOP STRUCTURE
- ADHERED WALKWAY PADS
- EXISTING GAS/CONDUIT LINES TO REMAIN

**RENOVATION KEYNOTES**

- 7.01 PROVIDE AND INSTALL ROOF MEMBRANE. SEE ROOFING SCHEDULE.
- 7.02 PROVIDE AND INSTALL NEW MANUFACTURED EDGE METAL. SEE DETAILS.

**ROOF SCHEDULE - PHYSICAL SCIENCE**

ROOF AREA	APPROX. AREA	EXISTING ROOF CONSTRUCTION	SCOPE OF WORK
PS - AREA A	14206 SF	MECHANICALLY FASTENED COATED EPDM MEMBRANE OVER (2) 1 1/2" LAYER OF POLYISO INSUL. ON SLOPED METAL DECK.	REMOVE AND DISPOSE OF COATED EPDM ROOFING MEMBRANE; PROVIDE AND INSTALL MECHANICALLY FASTENED MEMBRANE OVER MECHANICALLY FASTENED GYP. COVER BOARD OVER EXISTING REMAINING ROOF ASSEMBLY ON SLOPED METAL DECK.
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**CASPER COLLEGE - 2025 ROOF REPLACEMENTS**

OWNER

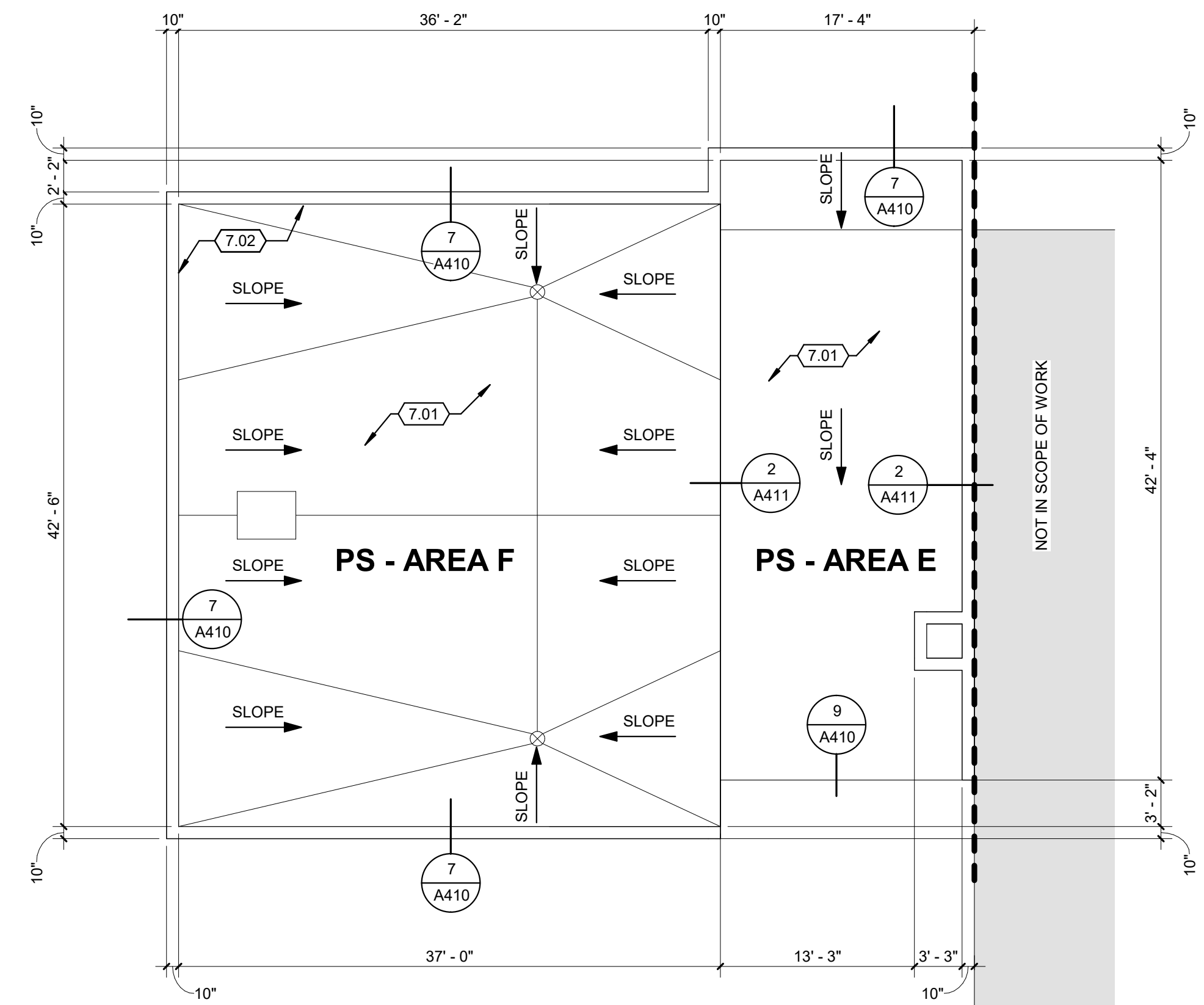


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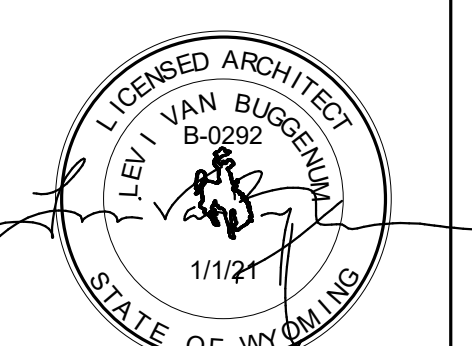
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**1** ROOF PLAN - PHYSICAL SCIENCE AREAS E & F  
SCALE: 1/8" = 1'-0"



REVISIONS		
NO.	DESCRIPTION	DATE

**GENERAL ROOF PLAN NOTES**

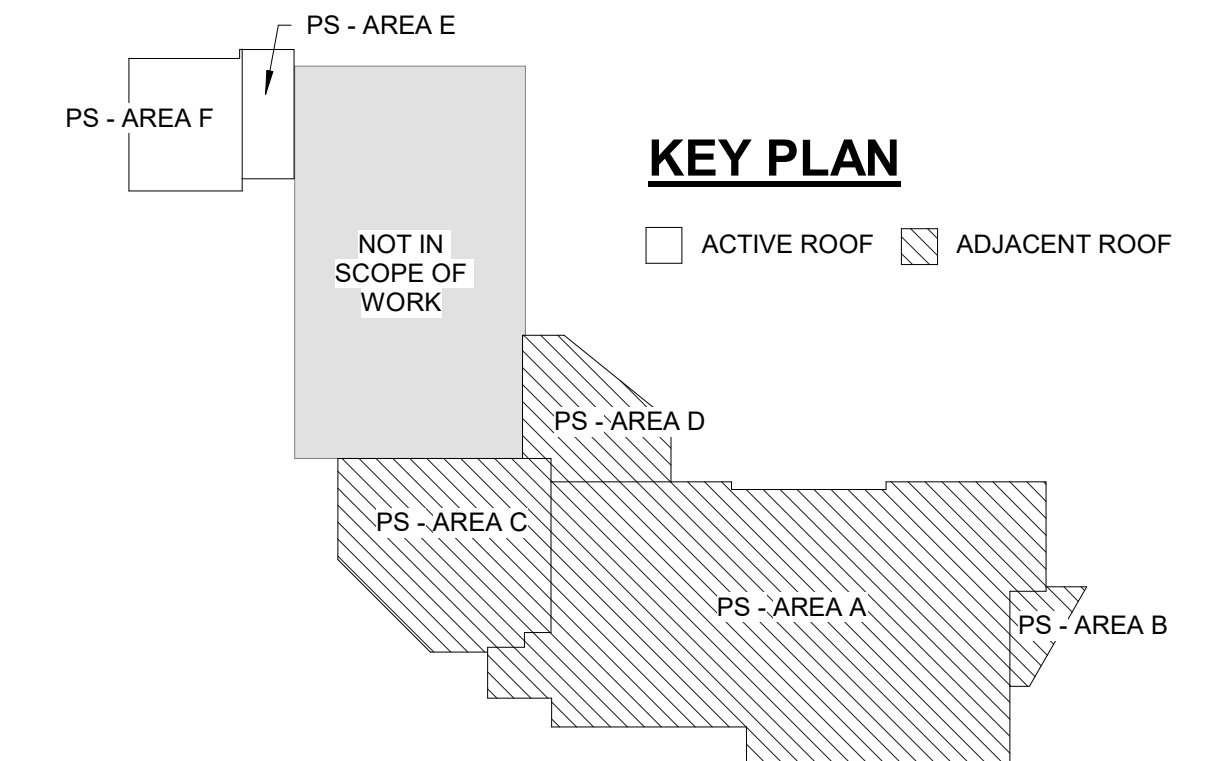
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**ROOF PLAN LEGEND**

- CURB MOUNTED EXHAUST FAN OR VENTILATOR. SEE DETAIL 1/A410.
- ROOF ACCESS HATCH
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**RENOVATION KEYNOTES**

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- 7.02 PROVIDE AND INSTALL NEW MANUFACTURED EDGE METAL. SEE DETAILS.



ROOF SCHEDULE - PHYSICAL SCIENCE			
ROOF AREA	APPROX. AREA	EXISTING ROOF CONSTRUCTION	SCOPE OF WORK
PS - AREA A	14206 SF	MECHANICALLY FASTENED COATED EPDM MEMBRANE OVER (2) 1 1/2" LAYER OF POLYISO INSUL. ON SLOPED METAL DECK.	REMOVE AND DISPOSE OF COATED EPDM ROOFING MEMBRANE; PROVIDE AND INSTALL MECHANICALLY FASTENED MEMBRANE OVER MECHANICALLY FASTENED GYP. COVER BOARD OVER EXISTING REMAINING ROOF ASSEMBLY ON SLOPED METAL DECK.
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PROJECT NUMBER:  
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FEBRUARY 28, 2025

ISSUE:  
CONSTRUCTION DOCUMENTS

**ROOF PLAN - PHYSICAL SCIENCE AREAS E & F**

**PA403**

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1 SITE MAP - CIVIC APARTMENTS  
SCALE: 1" = 30'-0"

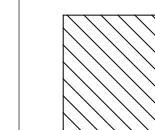
### GENERAL SITE PLAN NOTES

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### ROOF AREA LIST

1. EAST APARTMENT - CA - AREA A
2. NORTH APARTMENT - CA - AREA B
3. SOUTH APARTMENT - CA - AREA C

### SITE PLAN LEGEND



CONTRACTOR STAGING AND PARKING AREA. PROVIDE AND INSTALL CONSTRUCTION FLAGGING AND/OR FENCING AT AREA PERIMETER.

### KEYNOTES

- (X.XX) KEYNOTES
- 1.01 CONTRACTOR STAGING AND PARKING AREA. PROVIDE AND INSTALL CONSTRUCTION FLAGGING AND/OR FENCING AT AREA PERIMETER.

### CASPER COLLEGE - 2025 ROOF REPLACEMENTS

OWNER

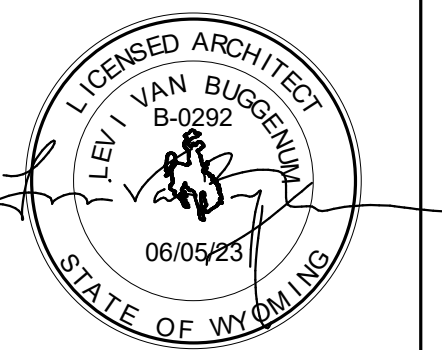


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REVISIONS #	NO.	DESCRIPTION	DATE

PROJECT NUMBER:  
2024-83

DATE:  
FEBRUARY 28, 2025

ISSUE:  
CONSTRUCTION DOCUMENTS

ARCHITECTURAL SITE PLAN - CIVIC APARTMENTS

# CA001

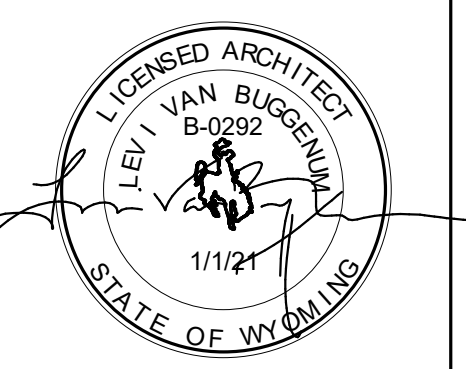
NOTE: ONLY DRAWINGS AND INFORMATION FOR CIVIC APARTMENTS AREA A IS PROVIDED. ALL OTHER AREAS ARE IDENTICAL AND SHALL USE THE INFORMATION PROVIDED FOR AREA A AS DOCUMENTS.

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**DEMOLITION PLAN - CIVIC APARTMENTS**

**CA101**

**GENERAL DEMOLITION NOTES**

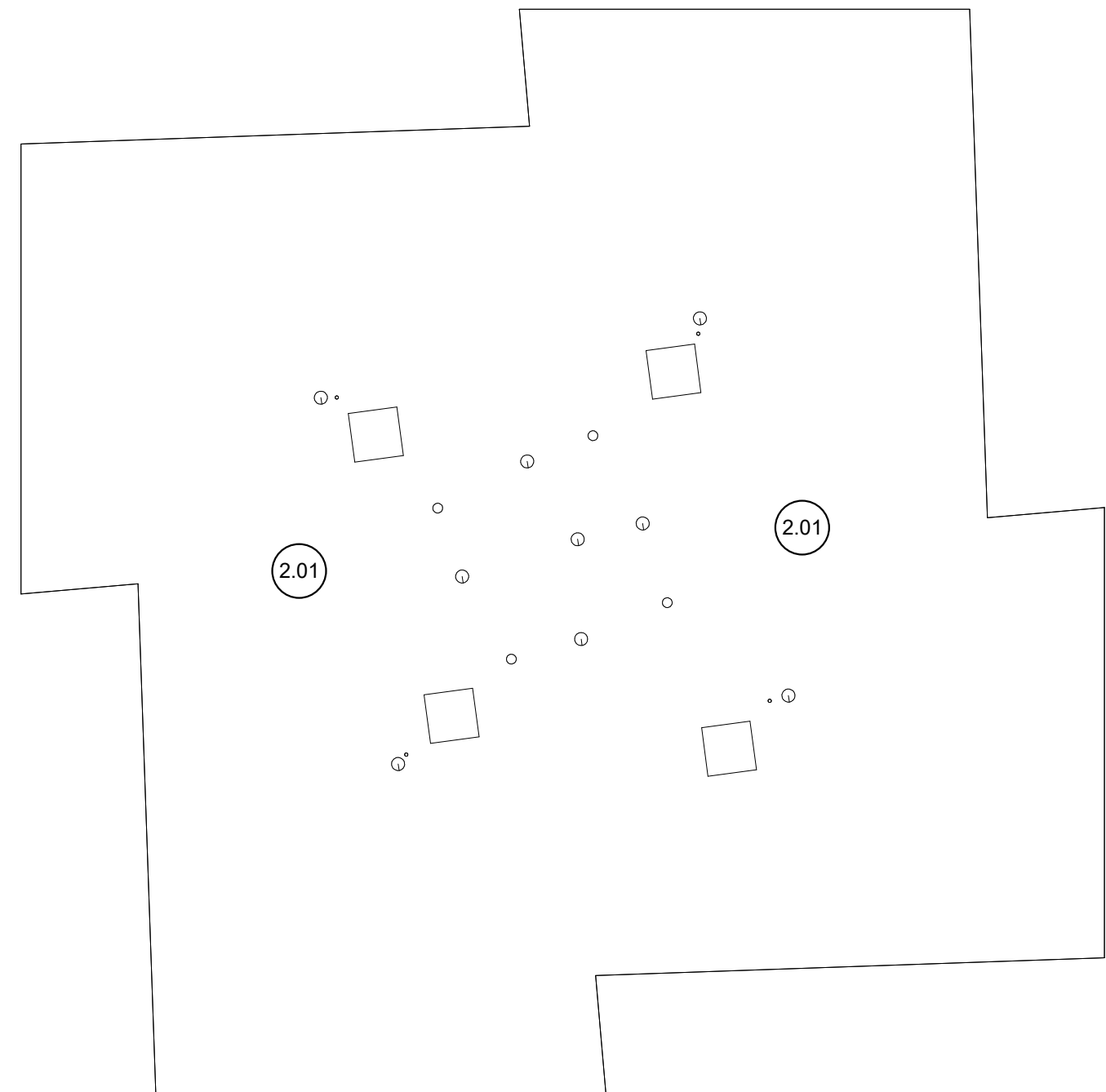
1. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING SELECTIVE DEMOLITION ITEMS.
2. DIMENSIONS & QUANTITIES ARE APPROXIMATE & SHOWN FOR GENERAL INFORMATION ONLY. CONTRACTOR IS RESPONSIBLE TO FIELD MEASURE & VERIFY EXISTING CONDITIONS.
3. THIS SHEET REPRESENTS CONDITIONS AS OBSERVED IN THE FIELD. ANY DISCOVERIES NOT DOCUMENTED HEREIN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO DEMOLITION AT THESE LOCATIONS FOR VERIFICATION.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIARIZED WITH PROJECT & EXISTING CONDITIONS PRIOR TO SUBMITTING BID &/OR PERFORMING ANY WORK.
5. CONTRACTOR SHALL INSPECT THE UNDERSIDE OF THE ROOF DECK & TAKE PRECAUTIONS TO AVOID DAMAGING CONDUIT, DUCTWORK, OR ANY OTHER BUILDING SYSTEMS ATTACHED BENEATH THE DECK.
6. THE CONTRACTOR IS TO PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW & RENOVATION CONSTRUCTION WHETHER OR NOT IT IS SPECIFICALLY NOTES, INCLUDING, BUT NOT LIMITED TO, ALL WORK THAT MIGHT REASONABLY BE REQUIRED TO PREP FOR SPECIFIED FINISHES.
7. PROTECT ALL ITEMS / ELEMENTS NOT SPECIFIED AS BEING DEMOLISHED. IF EXISTING ELEMENTS ARE DAMAGED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PATCH, REPAIR, OR REPLACE ITEMS / ELEMENTS TO REMAIN AT NO COST TO THE OWNER.
8. OWNER HAS FIRST RIGHT OF REFUSAL FOR ALL MATERIALS & FINISHES. CONTRACTOR SHALL VERIFY WITH OWNER PRIOR TO COMMENCEMENT OF DEMOLITION.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DISPOSE OF ALL DEMOLISHED ITEMS, UNLESS NOTED TO BE SALVAGED, IN A PROPER MANNER ACCORDING TO THE LOCAL & FEDERAL REGULATIONS.

**DEMOLITION LEGEND**

- ◉ (2.01) DEMOLITION KEYNOTE
- EXISTING TERMINATION BAR / EDGE METAL TO BE REMOVED. VERIFY TYPES & CONDITIONS IN THE FIELD
- ▭ EXISTING WALL / ITEM / ELEMENT TO REMAIN, PROTECT DURING CONSTRUCTION, VERIFY TYPES & CONDITIONS IN THE FIELD

**DEMOLITION KEYNOTES**

- 2.01 REMOVE AND DISPOSE OF MEMBRANE ROOF ASSEMBLY. SEE ROOFING SCHEDULE.



**1 DEMOLITION PLAN - CIVIC APARTMENTS**  
CA101 SCALE: 1/8" = 1'-0"

ROOF AREA		APPROX. AREA	EXISTING ROOF CONSTRUCTION	SCOPE OF WORK
CA - AREA A	2401 SF			REMOVE AND DISPOSE OF EXISTING ROOFING MEMBRANE; PROVIDE AND INSTALL MECHANICALLY ATTACHED MEMBRANE OVER 1/4" GYP COVER BOARD OVER RIGID INSULATION ON EXISTING ROOF DECK ASSEMBLY

NOTE: ONLY DRAWINGS AND INFORMATION FOR CIVIC APARTMENTS AREA A IS PROVIDED. ALL OTHER AREAS ARE IDENTICAL AND SHALL USE THE INFORMATION PROVIDED FOR AREA A AS DOCUMENTS.

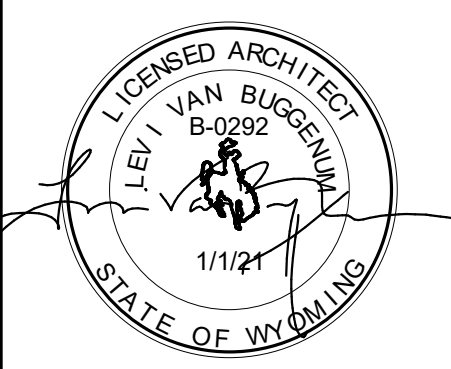
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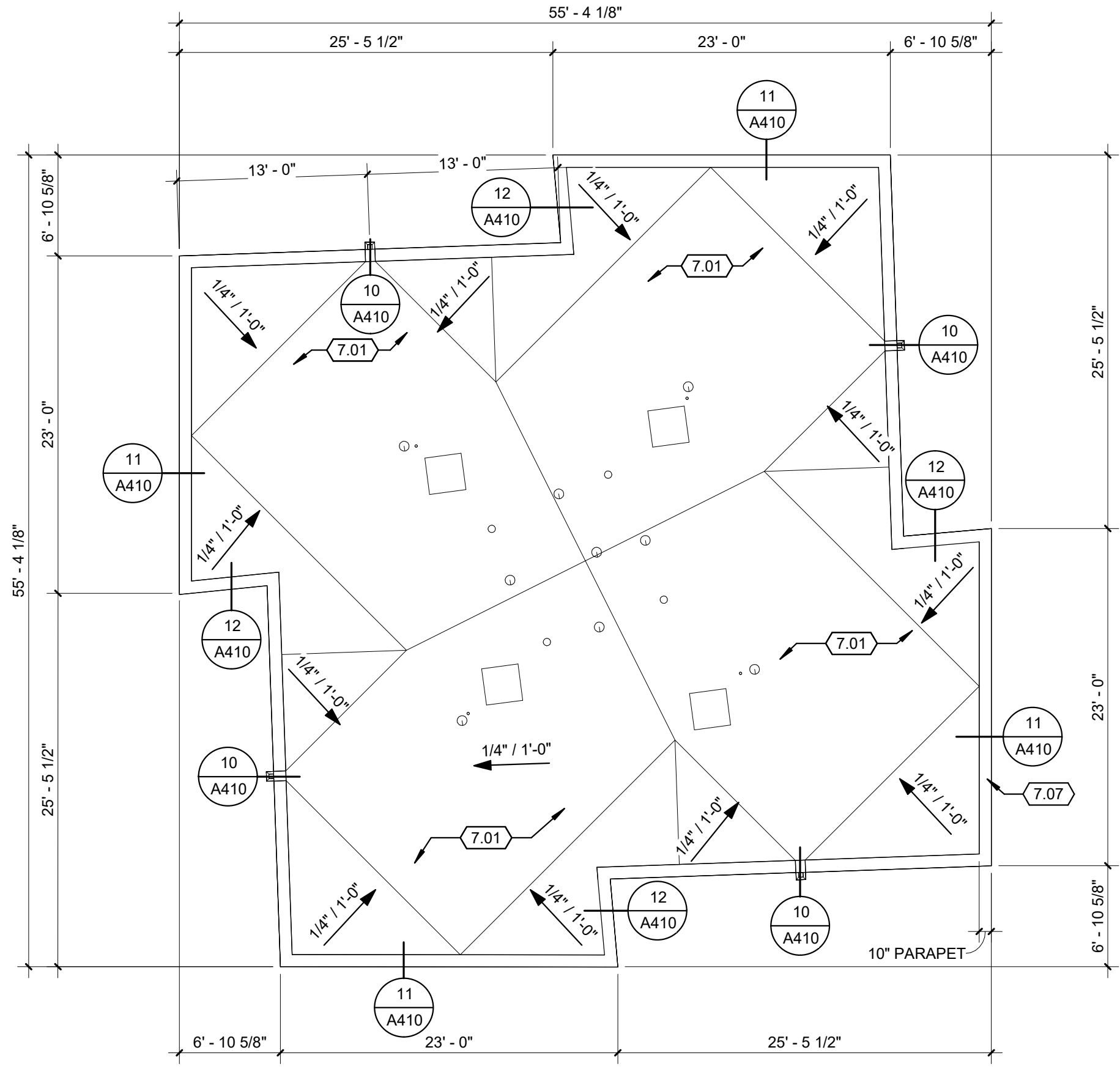
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**ROOF PLAN - CIVIC APARTMENTS**

**CA401**



**1 ROOF PLAN - CIVIC APARTMENTS**  
SCALE: 1/8" = 1'-0"

**GENERAL ROOF PLAN NOTES**

- CONSERVE & PROTECT ALL AREAS NOT SCHEDULED FOR NEW WORK. WHERE DAMAGE OCCURS TO AREAS NOT SCHEDULED FOR NEW WORK DAMAGED AREAS / ITEMS / DEVICES SHALL BE REPAIRED / REPLACED BACK TO SIMILAR CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
- DIMENSIONS & QUANTITIES ARE APPROXIMATE & SHOWN FOR GENERAL INFORMATION ONLY. CONTRACTOR IS RESPONSIBLE TO FIELD MEASURE & VERIFY BEFORE ORDERING MATERIALS.
- CONTRACTOR SHALL INSPECT THE UNDERSIDE OF THE ROOF DECK & TAKE PRECAUTIONS TO AVOID DAMAGING CONDUIT, DUCTWORK, OR ANY OTHER BUILDING SYSTEMS ATTACHED BENEATH THE DECK.
- ALL DEMOLISHED ITEMS FROM THE EXISTING BUILDING TO BE REMOVED & DISPOSED OF FROM THE SITE IN ACCORDANCE WITH ALL STATE & LOCAL REGULATIONS.
- ROOFING CONTRACTOR SHALL MONITOR THE FORECAST & PROVIDE A WATERTIGHT NIGHT SEAL AT ALL AREAS ABOVE CONDITIONED SPACES OPENED UP DURING THE DAY'S ROOFING ACTIVITIES.
- REFER TO MECHANICAL FOR ALL MECHANICAL & PLUMBING ITEMS TO BE INSTALLED.
- REFER TO ELECTRICAL FOR ALL ELECTRICAL ITEMS TO BE INSTALLED.
- PATCH & INFILL ALL MECHANICAL, PLUMBING, & ELECTRICAL WORK THAT IS OUTLINED IN THEIR SHEETS, EVEN IF NOT FULLY REFERENCED IN THE ARCHITECTURAL SHEETS.

**ROOF PLAN LEGEND**

- CURB MOUNTED EXHAUST FAN OR VENTILATOR. SEE DETAIL 1/A410.
- ROOF ACCESS HATCH
- VENT THROUGH ROOF. SEE DETAIL 2/A410.
- HOT FLUE. SEE DETAIL 4/A411.
- ROOF TOP ELECTRICAL OUTLET
- PRIMARY ROOF DRAIN.
- OVERFLOW ROOF DRAIN.
- CURB MOUNTED EXHAUST VENT. SEE DETAIL 1/1A410.
- SKYLIGHT
- ROOF TOP STRUCTURE
- ADHERED WALKWAY PADS
- EXISTING GAS/CONDUIT LINES TO REMAIN

**RENOVATION KEYNOTES**

- 7.01 PROVIDE AND INSTALL ROOF MEMBRANE. SEE ROOFING SCHEDULE.
- 7.07 PROVIDE AND INSTALL 2X6 WOOD STUD PARAPET WALL ASSEMBLY AT PERIMETER OF ROOF.

ROOF AREA		APPROX. AREA	EXISTING ROOF CONSTRUCTION	SCOPE OF WORK
CA - AREA A	2401 SF			REMOVE AND DISPOSE OF EXISTING ROOFING MEMBRANE; PROVIDE AND INSTALL MECHANICALLY ATTACHED MEMBRANE OVER 1/4" GYP COVER BOARD OVER RIGID INSULATION ON EXISTING ROOF DECK ASSEMBLY

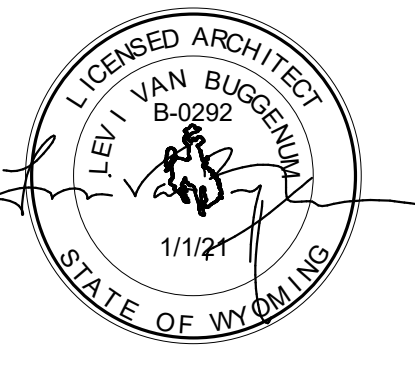
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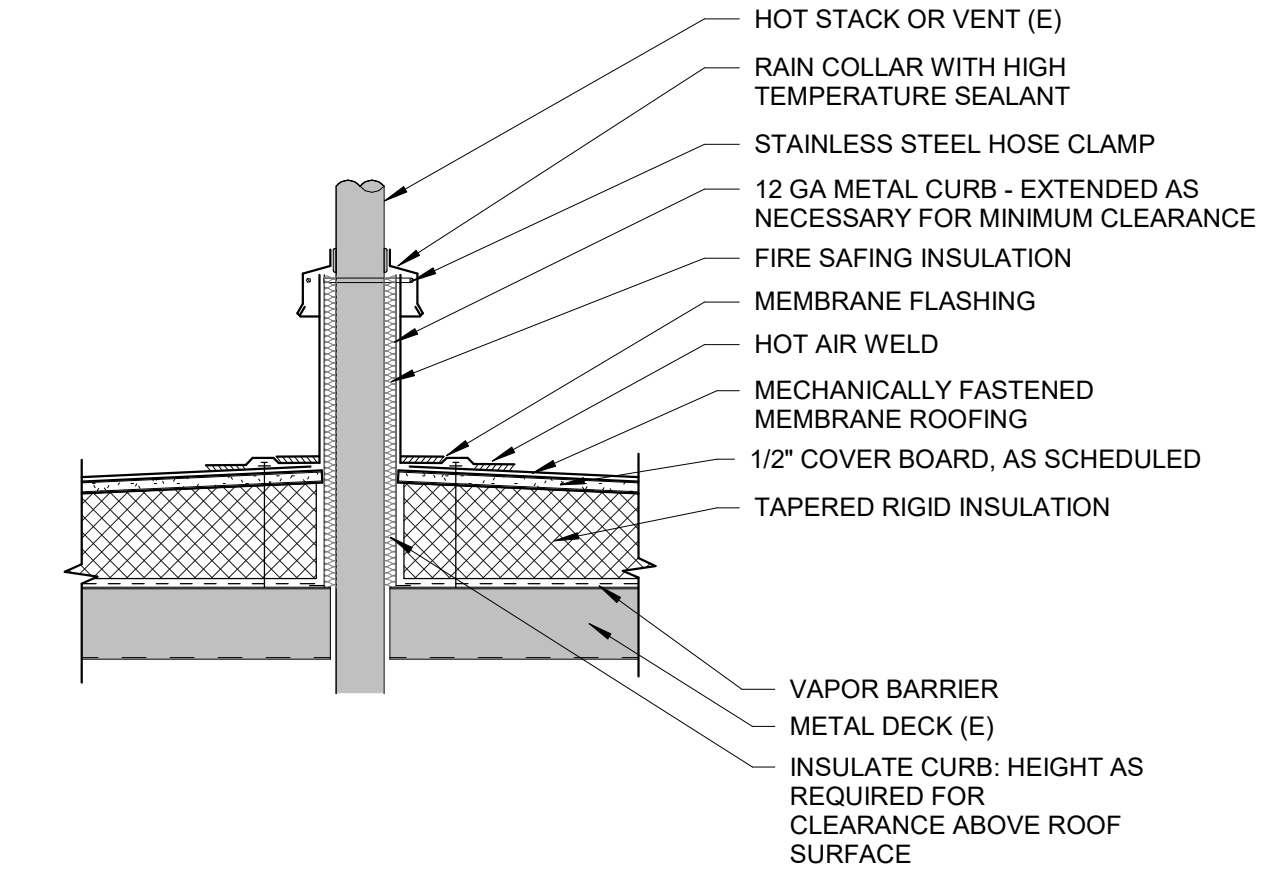
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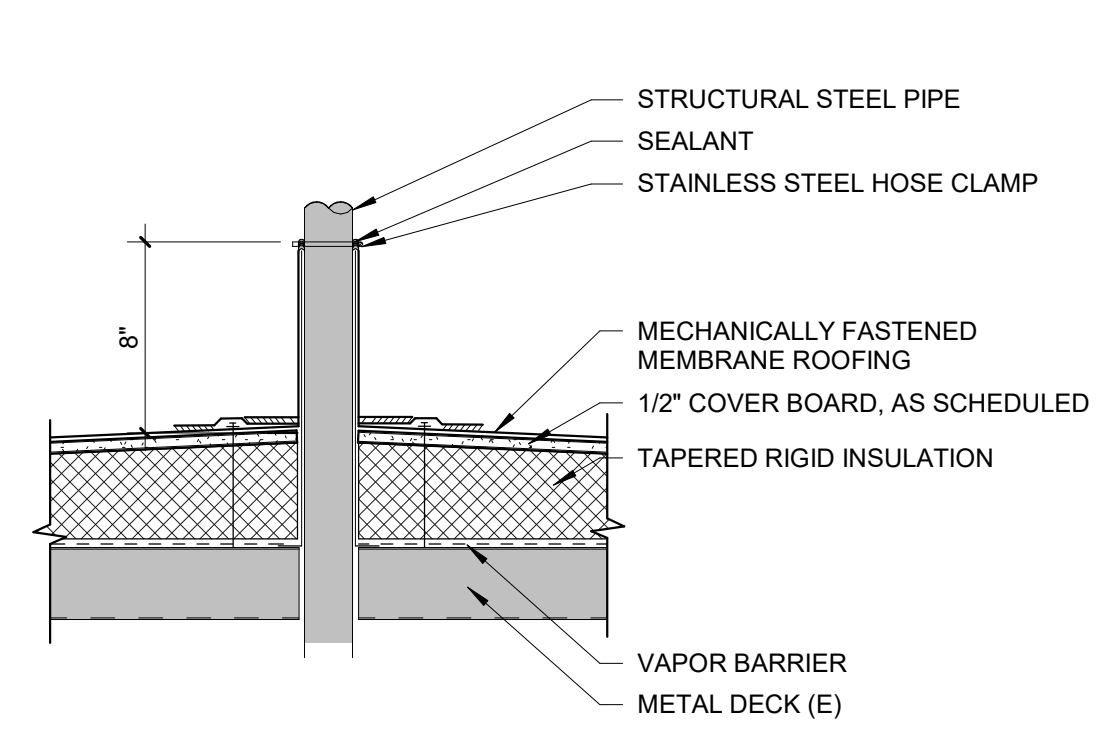
NO.	DESCRIPTION	DATE
1	2x6 WOOD STUD PONY WALL AT 16" O.C. WITH 3/4" PLYWOOD EACH SIDE	
2	BATT INSULATION	
3	MEMBRANE FLASHING	
4	HOT AIR WELD	
5	MECHANICALLY ATTACHED MEMBRANE ROOFING	
6	1/2" GYP BOARD COVER, AS SCHEDULED	
7	TAPERED RIGID INSULATION	
8	VAPOR BARRIER	
9	PLY COVER (E)	

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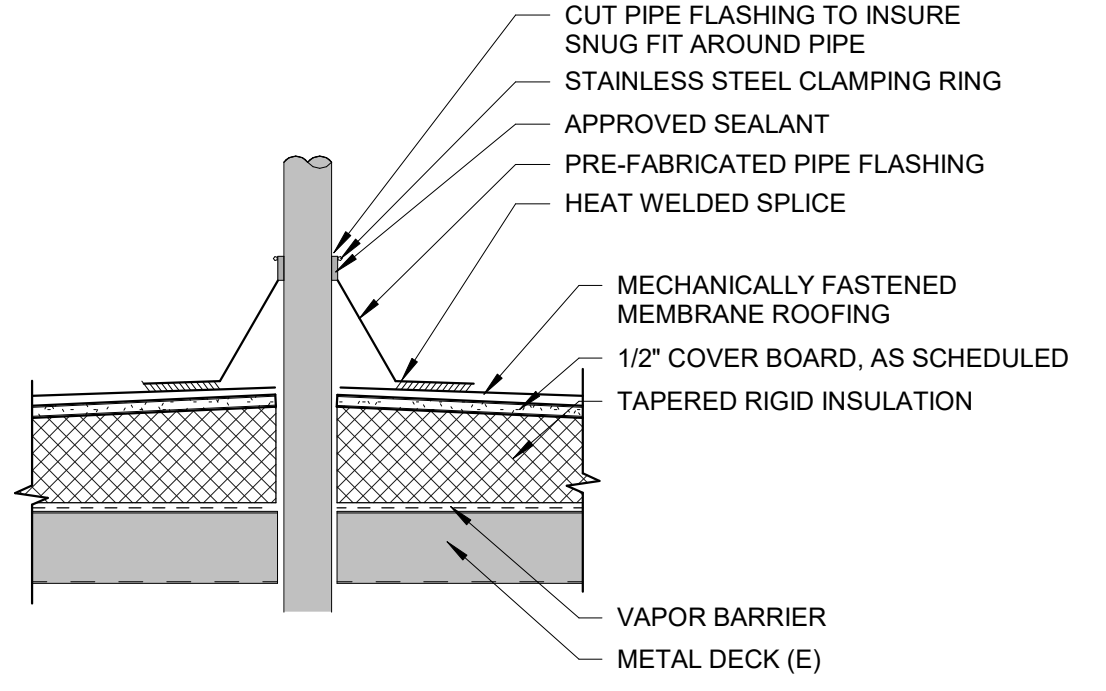
**ROOF DETAILS**



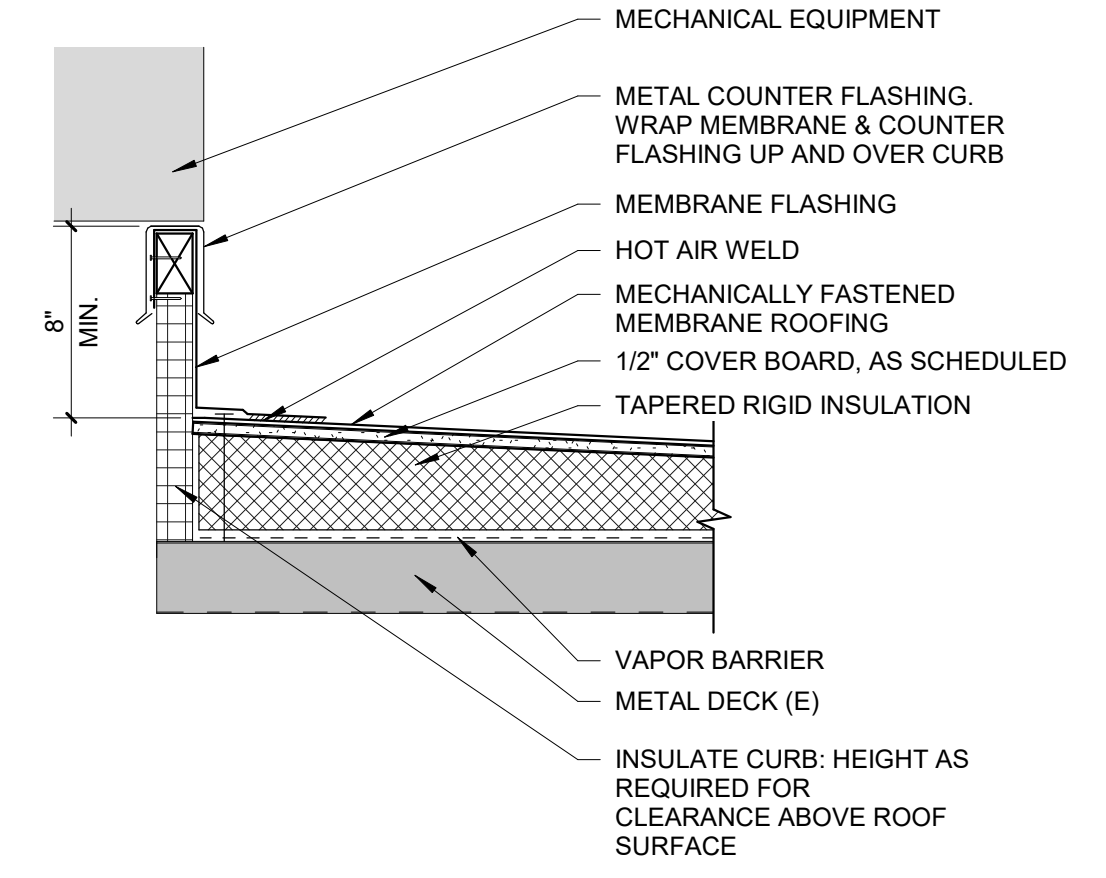
**4 HOT FLUE DETAIL**  
SCALE: 1 1/2" = 1'-0"



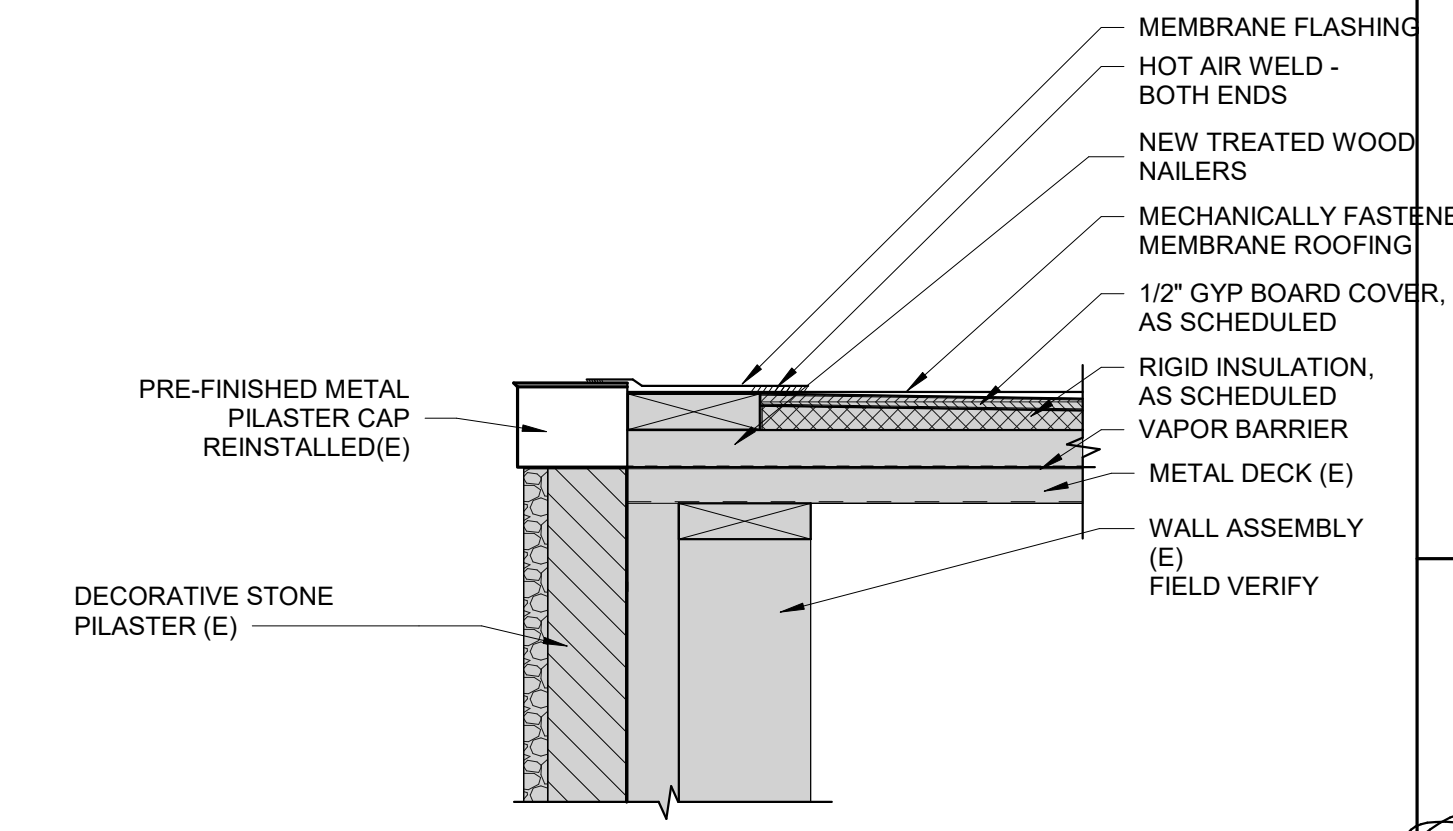
**3 FIELD WRAP PIPE DETAIL**  
SCALE: 1 1/2" = 1'-0"



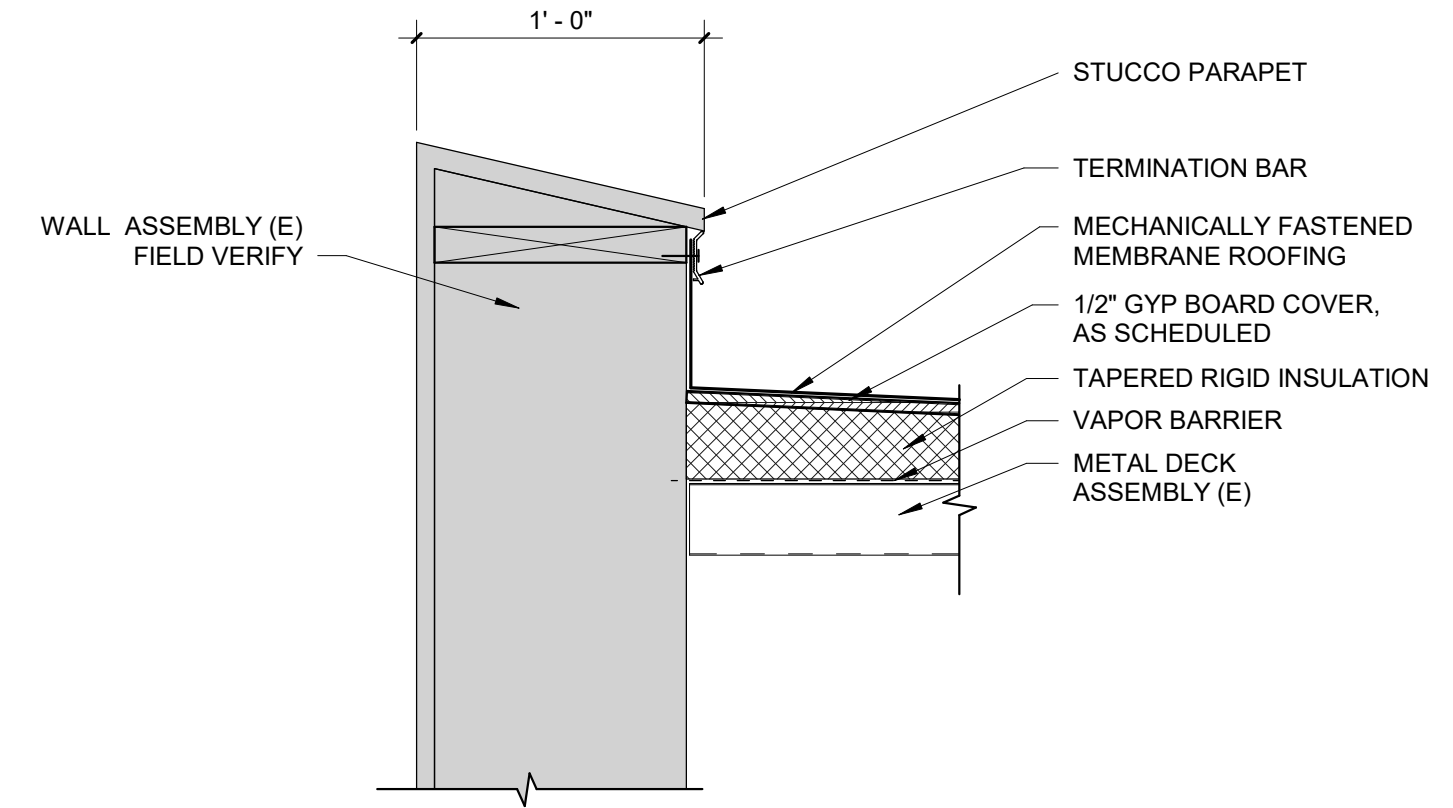
**2 PRE-FABRICATED BOOT PIPE DETAIL**  
SCALE: 1 1/2" = 1'-0"



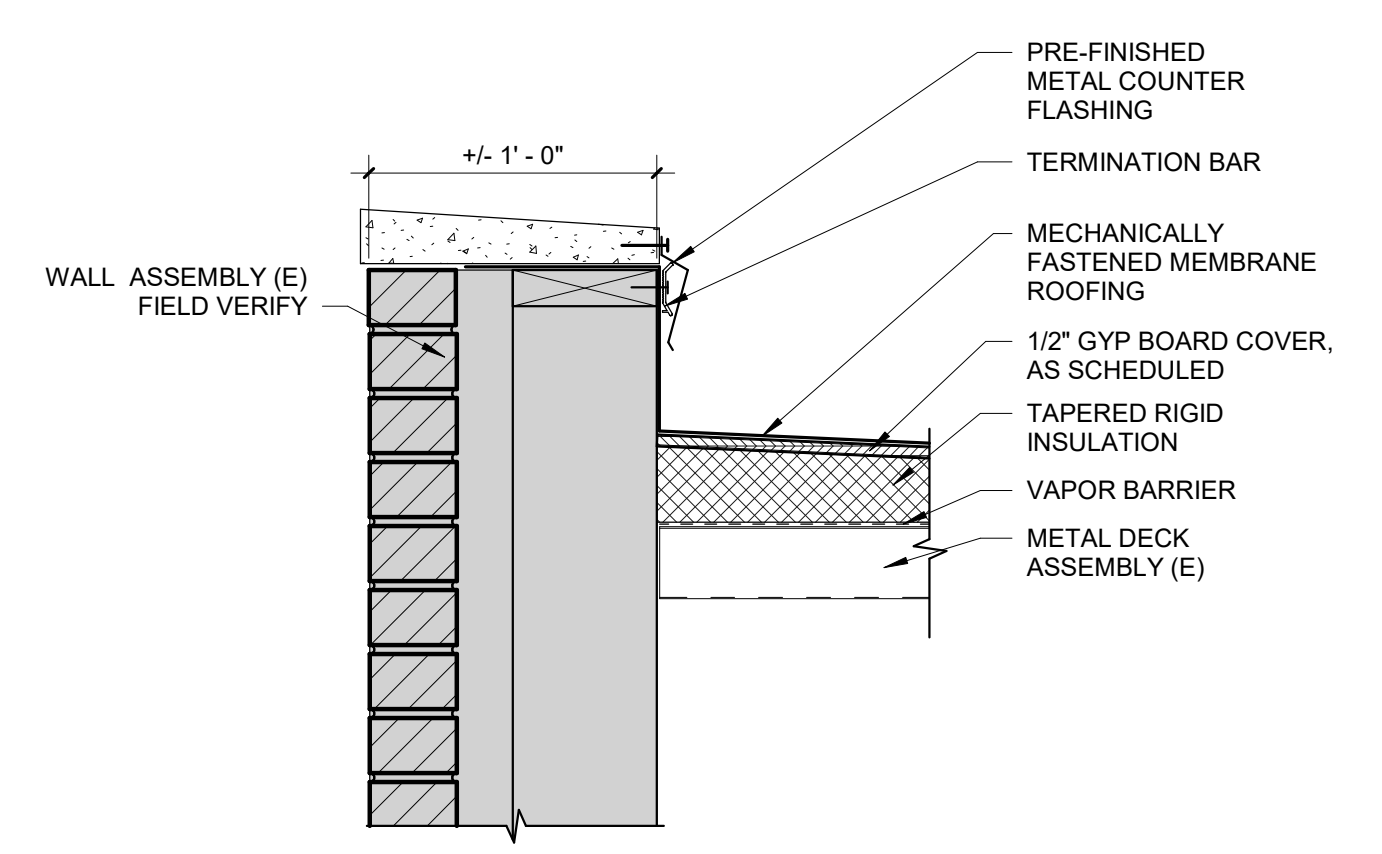
**1 EQUIPMENT CURB DETAIL**  
SCALE: 1 1/2" = 1'-0"



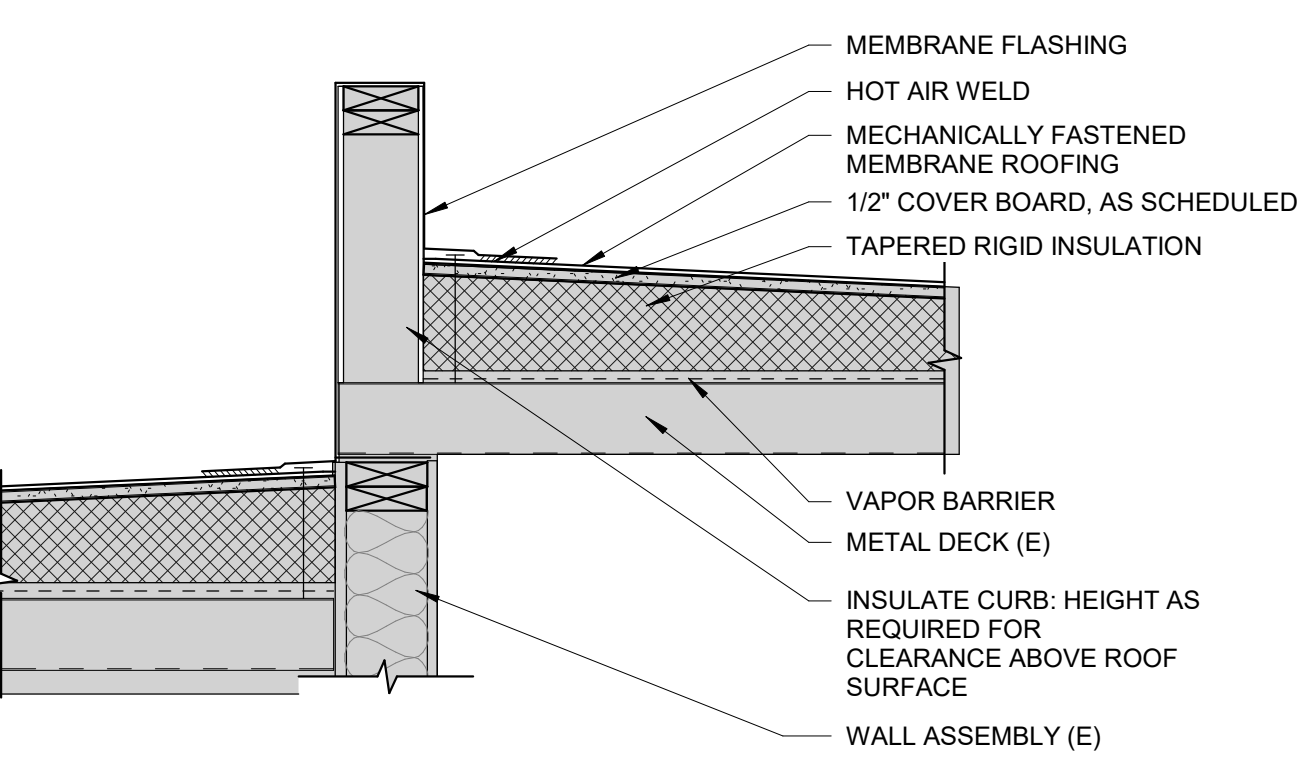
**8 METAL PILASTER CAP DETAIL**  
SCALE: 1 1/2" = 1'-0"



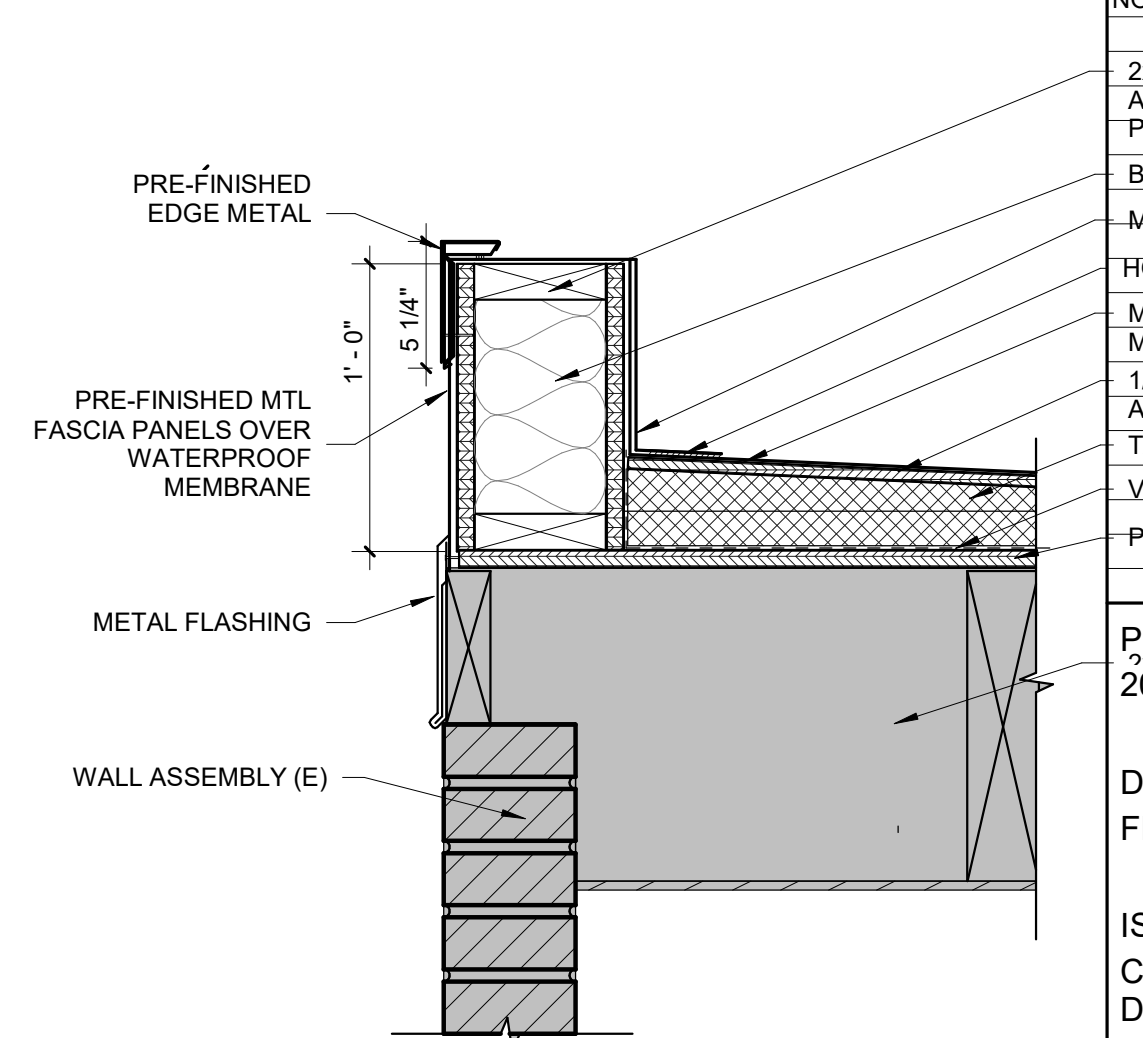
**7 TYP. PARAPET STUCCO COPING DETAIL**  
SCALE: 1 1/2" = 1'-0"



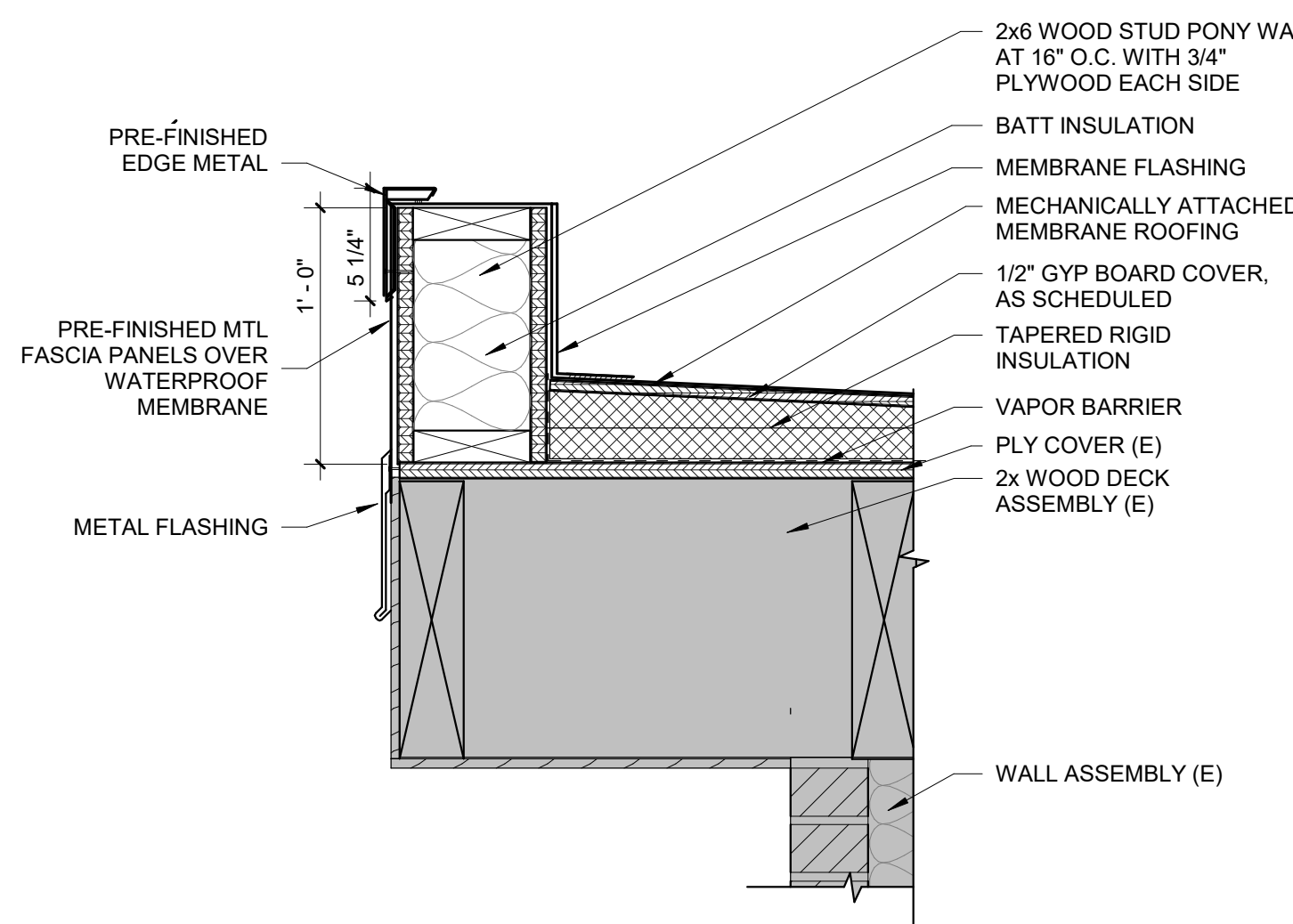
**6 TYP. PARAPET CONC. COPING DETAIL**  
SCALE: 1 1/2" = 1'-0"



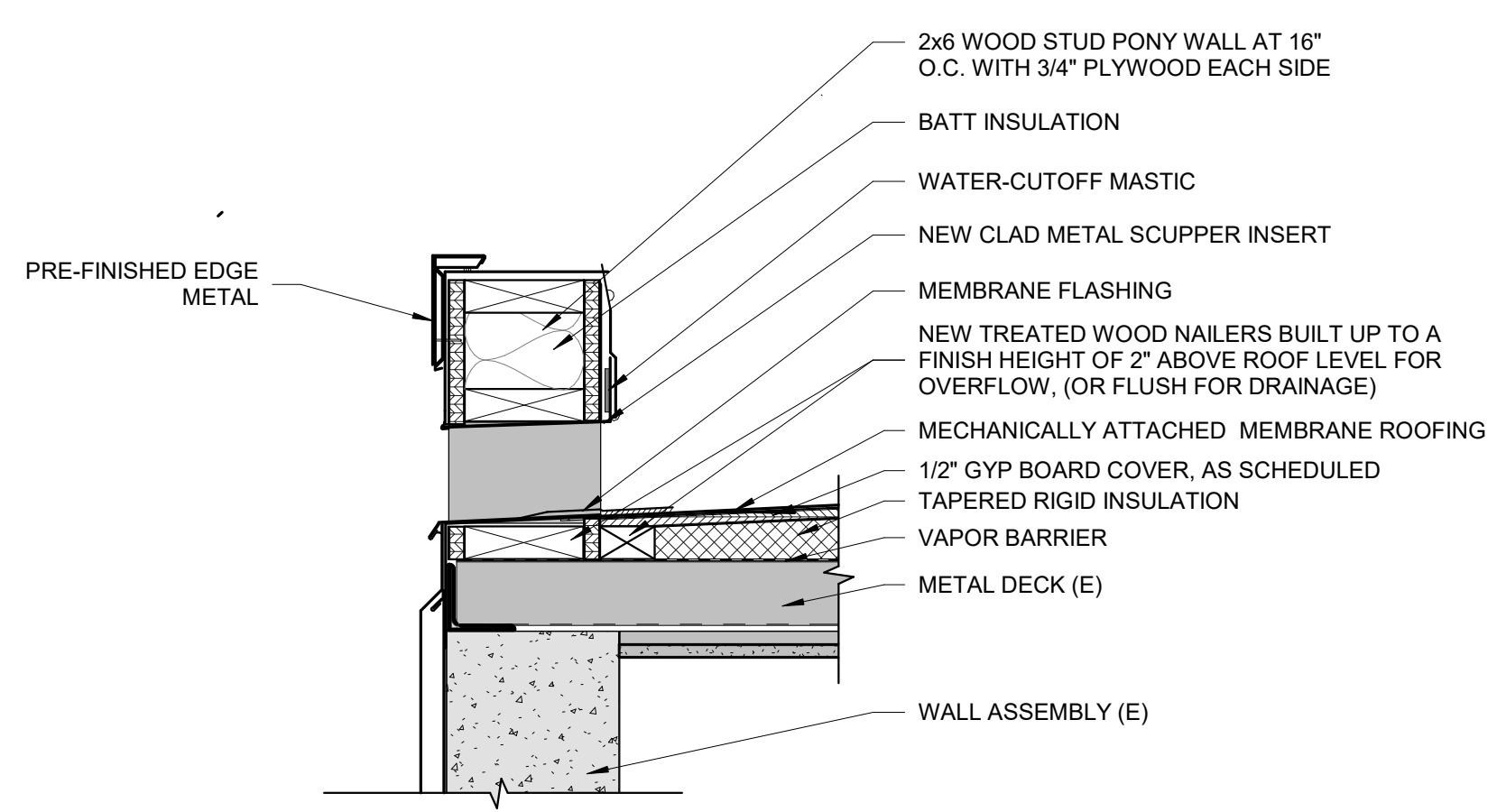
**5 CURB DETAIL**  
SCALE: 1 1/2" = 1'-0"



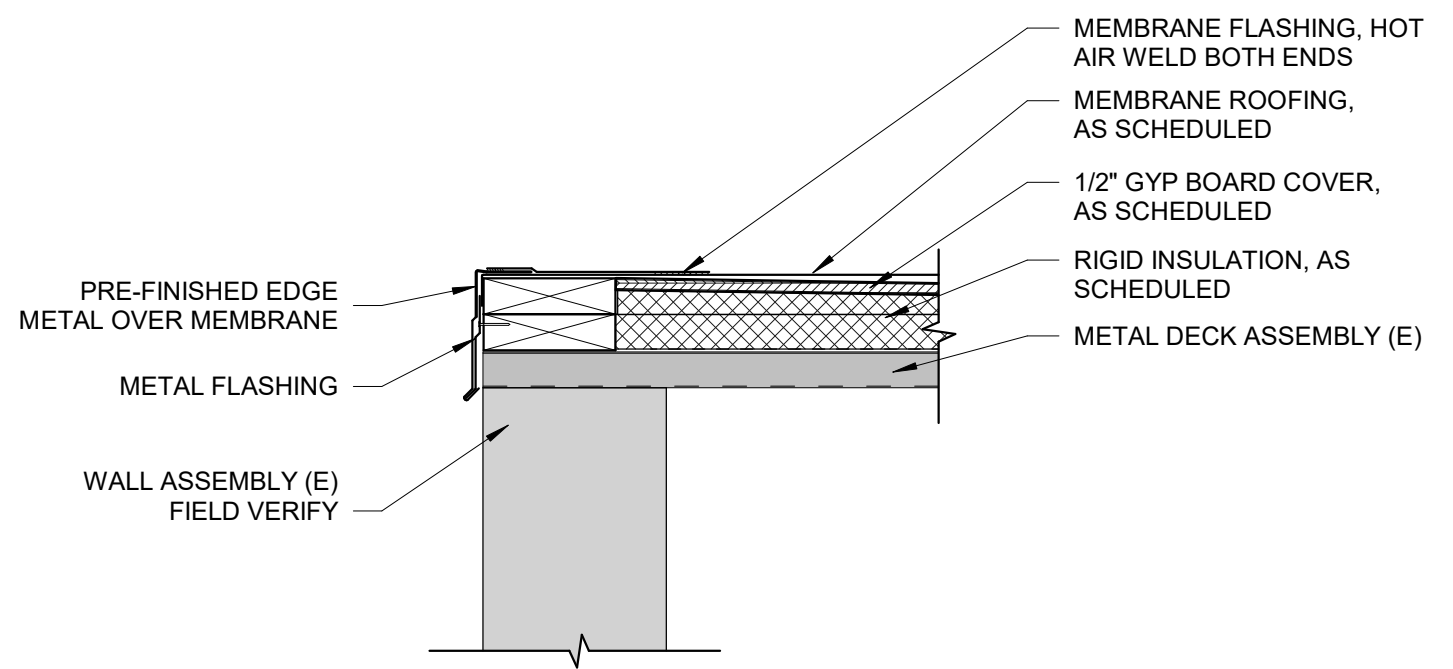
**12 TYP. PARAPET DETAIL @ WALL**  
SCALE: 1 1/2" = 1'-0"



**11 TYP. PARAPET DETAIL**  
SCALE: 1 1/2" = 1'-0"



**10 THROUGH-WALL SCUPPER DETAIL**  
SCALE: 1 1/2" = 1'-0"



**9 EDGE METAL DETAIL**  
SCALE: 1 1/2" = 1'-0"

